

YOUR Inspection Report

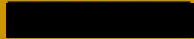
Protect your most important asset.

FOR THE PROPERTY AT:



Toronto, ON M4M 2X9

PREPARED FOR:

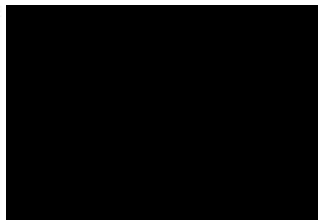


INSPECTION DATE:

Wednesday, May 22, 2024

PREPARED BY:

Boris Vorobyov



Power Home Inspection

Protect Your Most Important Asset

Power Home Inspection
19 Prince Drive
Bradford West Gwillimbury, ON L3Z 3B7

647 921 2643

www.homeinspectorgta.com
powerhomeinspector@gmail.com



June 5, 2024

Dear [REDACTED],

RE: Report No. 2818, v.3

[REDACTED]
Toronto, ON
M4M 2X9

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Boris Vorobyov
on behalf of
Power Home Inspection

Power Home Inspection
19 Prince Drive
Bradford West Gwillimbury, ON L3Z
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647 921 2643
www.homeinspectorgta.com
powerhomeinspector@gmail.com

[REDACTED], Toronto, ON May 22, 2024

PARTIES TO THE AGREEMENT**Company**

Power Home Inspection [REDACTED]
19 Prince Drive
Bradford West Gwillimbury, ON
L3Z 3B7

This is an agreement between [REDACTED] and Power Home Inspection.

**THIS CONTRACT LIMITS THE LIABILITY OF THE HOME INSPECTION COMPANY.
PLEASE READ CAREFULLY BEFORE SIGNING.**

In addition to the limitations in the Standards of Practice, the Inspection of this property is subject to the Limitations and Conditions set out in this Agreement. The Inspection is performed in accordance with the Standards of Practice of our national association.

LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

1) THE INSPECTION IS NOT TECHNICALLY EXHAUSTIVE.

The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive.

Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may indicate a potential problem that is beyond the scope of the Home Inspection.

If you are concerned about any conditions noted in the Home Inspection Report, we strongly recommend that you consult a qualified Licensed Contractor or Consulting Engineer. These professionals can provide a more detailed analysis of any conditions noted in the Report at an additional cost

2) THE INSPECTION IS AN OPINION OF THE PRESENT CONDITION OF THE VISIBLE COMPONENTS.

The Home Inspector's Report is an opinion of the present condition of the property. It is based on a visual examination of the readily accessible features of the building.

A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, heating, cooling, structure, plumbing and insulation that are hidden or inaccessible.

Some intermittent problems may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. They do not remove wall coverings (including wallpaper) or lift flooring (including carpet) or move storage to look underneath or behind.

3) THE INSPECTION DOES NOT INCLUDE HAZARDOUS MATERIALS.

This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based insulation, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fireproofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicides or pesticides. The Home Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

4) WE DO NOT COMMENT ON THE QUALITY OF AIR IN A BUILDING.

The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building.

The Inspection does not include spores, fungus, mold or mildew that may be present. You should note that whenever there is water damage noted in the report, there is a possibility that mold or mildew may be present, unseen behind a wall, floor or ceiling.

If anyone in your home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens at additional cost.

5) WE DON'T LOOK FOR BURIED TANKS.

Your Home Inspector does not look for and is not responsible for fuel oil, septic or gasoline tanks that may be buried on the property. If the building had its heating system converted from oil, there will always be the possibility that a tank may remain buried on the property.

If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified Environmental Consultant to determine whether this is a potential problem.

6) TIME TO INVESTIGATE

We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced or otherwise changed before we have had a reasonable period of time to investigate.

7) REPORT IS FOR OUR CLIENT ONLY

The inspection report is for the exclusive use of the client named herein. No use of the information by any other party is intended.

AGREEMENT

Report No. 2818, v.3

www.homeinspectorgta.com

██████████, Toronto, ON May 22, 2024

8) CANCELLATION FEE

If the inspection is cancelled within 24 hours of the appointment time, a cancellation fee of 50% of the inspection fee will apply.

9) NOT A GUARANTEE, WARRANTY OR INSURANCE POLICY.

The inspection is not a guarantee, warranty or an insurance policy with regard to the fitness of the property.

10) LIMIT OF LIABILITY / LIQUIDATED DAMAGES

The liability of the Home Inspector and the Home Inspection Company arising out of this Inspection and Report, for any cause of action whatsoever, whether in contract or in negligence, is limited to a refund of the fees that you have been charged for this inspection.

I, ██████████ (Signature) _____, (Date) _____, have read, understood and accepted the terms of this agreement.

SUMMARY

[REDACTED], Toronto, ON May 22, 2024

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPLIANCES	APPENDIX	REFERENCE						

The Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

The deficiencies listed below and the components related to these should be further evaluated and repaired by a licensed contractor or professional. This will allow a specialist to fully evaluate the system and components, and identify issues beyond our scope of work.

There are some important things you should do when taking possession of a home. These are detailed in the Priority Maintenance document, which you can access by clicking on the link below.

No home is perfect, and we you will have improvements to recommend in virtually every home. Many clients are interested in knowing how their home stacks up to other homes of a similar age and type. The rating scale below provides some insight into that.

[][][] [][X][] [][][]
BELOW AVERAGE TYPICAL ABOVE AVERAGE

[Priority Maintenance Items](#)

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

Description

General: • All roofs (regardless of condition) may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced. We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of your roof covering.

Sloped roofing material:

- Asphalt shingles



Sloped roof flashing material: • Metal

Flat roofing material: • Modified bitumen membrane

Probability of leakage:

- Medium
Flat Roof
- Low
Sloped Roof

Limitations/Method of Reporting

Inspection limited/prevented by: • Lack of access (too high/steep)

Inspection performed: • With a drone

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Recommendations/Observations

FLAT ROOFING \ Modified bitumen

1. Condition: • Blisters

Flat roof membrane is near the end of it's service life. The membrane was visibly blistering and had ripples in various areas.

Recommended immediate service and full replacement in less than 2 years.

Noted unknown hump that extends the full length of the flat roof near party wall.

Location: Flat Roof

Task: Replace

Time: Less than 2 years



SUMMARY

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Description

Gutter & downspout material: • Aluminum

Gutter & downspout type: • Eave mounted

Downspout discharge: • Above grade

Lot slope: • Away from building • Towards building • Flat

Wall surfaces and trim: • Brick

Walkway: • Concrete

Deck:

• Ground level

w/ concrete base to prevent wood/soil contact.

Fence: • Wood

Limitations/Method of Reporting

Inspection limited/prevented by:

• Poor access under steps, deck, porch

• Carpet

Grass carpet on rear balcony/deck

No or limited access to: • Area below steps, deck, porches

Upper floors inspected from: • Ground level

Exterior inspected from: • Ground level

Not included as part of a building inspection: • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Screens, shutters, awnings, and similar seasonal accessories

Recommendations/Observations

ROOF DRAINAGE \ Downspouts

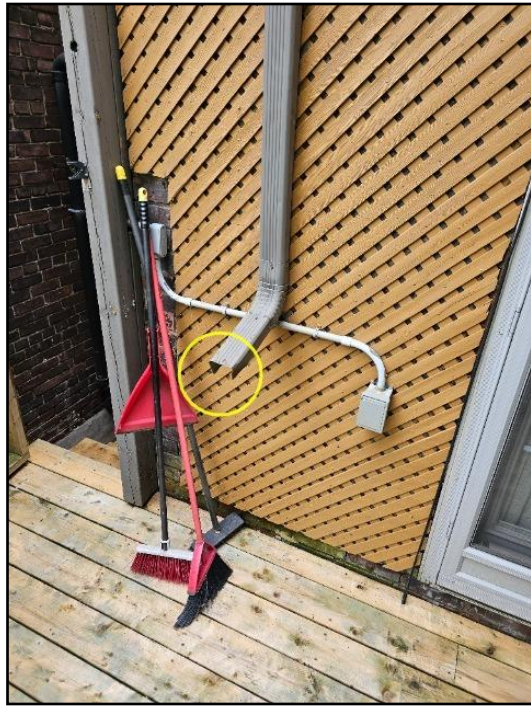
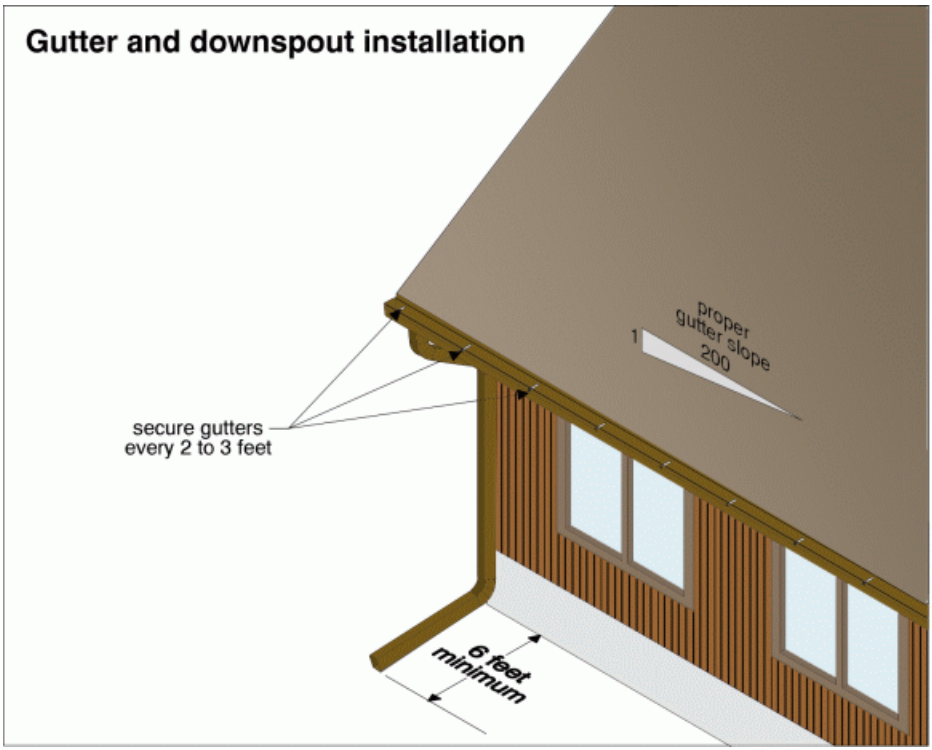
2. Condition: • Should discharge 6 feet from building

Location: Throughout

Task: Improve

Time: As soon as feasible

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

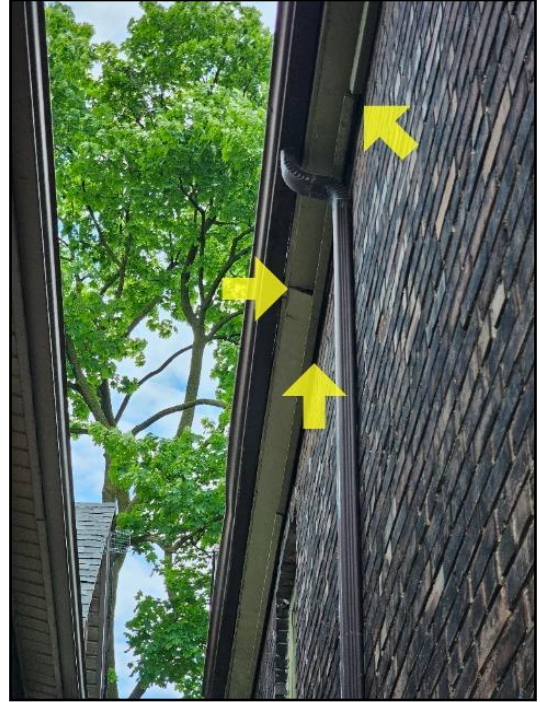
3. Condition: • Loose or missing pieces
Soffit trim is loose.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPLIANCES	APPENDIX	REFERENCE						

Location: Right side (facing home)

Task: Repair

Time: Less than 1 year



EXTERIOR GLASS/WINDOWS \ Exterior trim

4. Condition: • Rot

Bay window trim and frames are rotten.

Location: Right side (facing home)

Task: Repair or replace

Time: Less than 1 year

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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5. Condition: • Paint or stain needed

Paint around frames of windows is chipping away exposing raw wood. Paint or stain necessary to prevent future rot.

Location: Right side (facing home) Second Floor

Task: Repair

Time: Regular maintenance

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Beams

6. Condition: • Sag

Rear Balcony (deck) main beam is undersized and sagging minorly.

1 ply beam is currently holding the weight of all the joists. The beam is screwed to the posts with lag screws (should be bearing on the post instead).

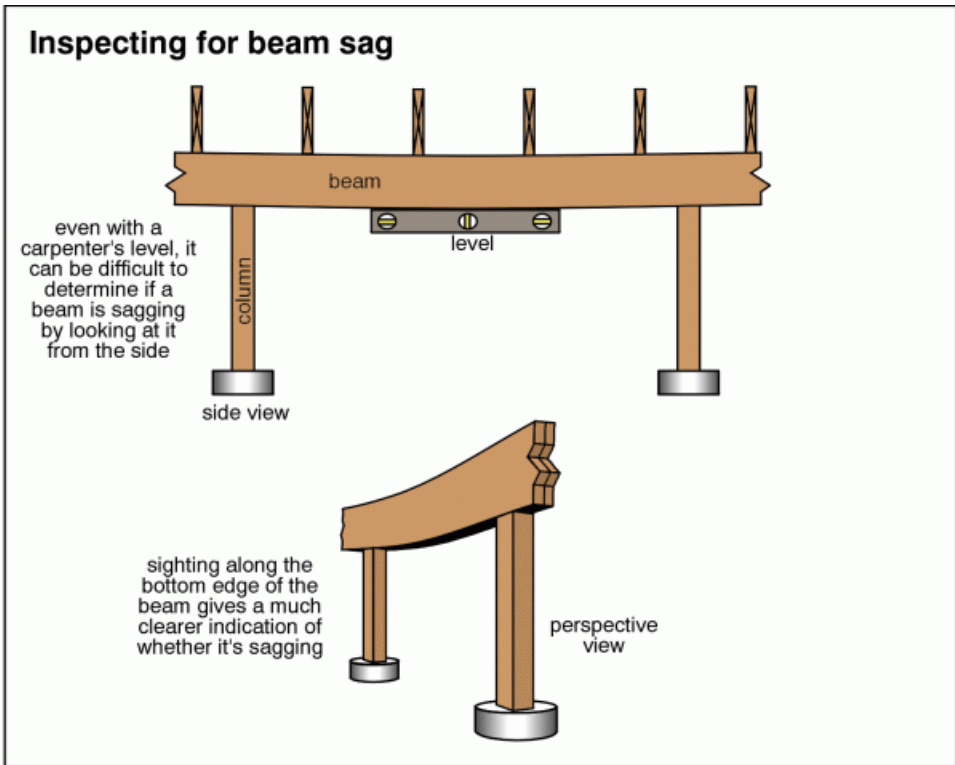
Recommended repair/reinforcement by a qualified framing contractor.

Location: Rear Balcony

Task: Improve

Time: Before use

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Floors

7. Condition: • Rot

Various front porch floor and handrailing boards are rotten.

No performance issues noted with front porch structure.

Location: Front Porch

Task: Replace

Time: Less than 1 year

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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LANDSCAPING \ Lot grading

8. Condition: • No swale

The right side of the home (exterior) grading was lower than the front and backyard. A concrete walkway is present which has a good slope to divert water away from the foundation but water has nowhere to go afterwards. It is imperative the eavestrough system is properly managed to minimize the water that can go between the homes.

Location: Right side (facing home)

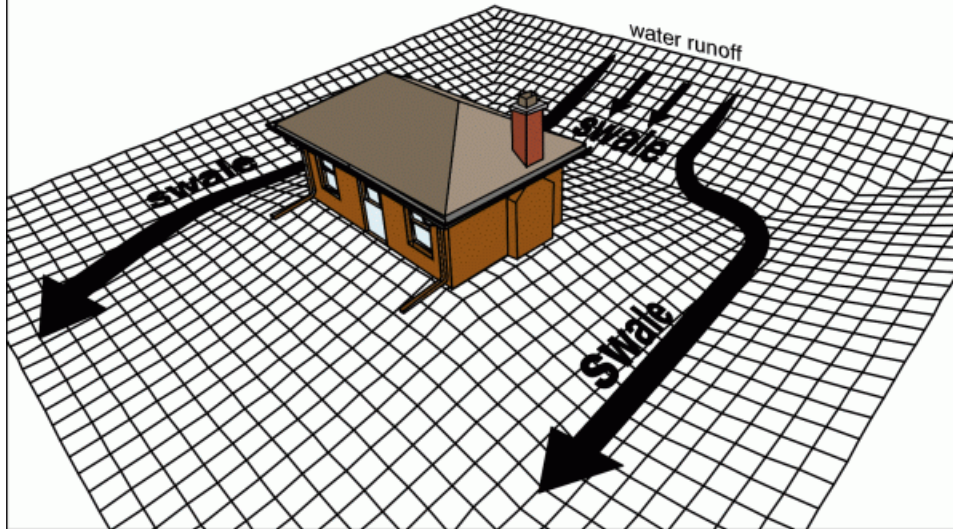
Task: Monitor

Time: Ongoing

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



LANDSCAPING \ Fence

9. Condition: • Rot

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Laneway gate posts structure is at the end of it's service life. The 6x6 posts are majorly rotten at grade level.

Location: Laneway Gate

Task: Replace

Time: Less than 1 year



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Description

Configuration: • Basement

Foundation material: • Stone

Floor construction: • Joists • Slab - concrete

Exterior wall construction: • Masonry

Roof and ceiling framing: • Not visible

Limitations/Method of Reporting

Inspection limited/prevented by: • Ceiling, wall and floor coverings • Carpet/furnishings • Storage • New finishes/paint • Insulation • Foundation skirt painted/parged/covered • Finished Basement

Attic/roof space: • No access

Percent of foundation not visible: • 95 %

Recommendations/Observations

RECOMMENDATIONS \ General

10. Condition: • Most foundation walls and masonry walls have small cracks due to minor shrinkage, settlement or shifting.

These will not be individually noted, unless leakage or building movement is noted.

RECOMMENDATIONS \ Overview

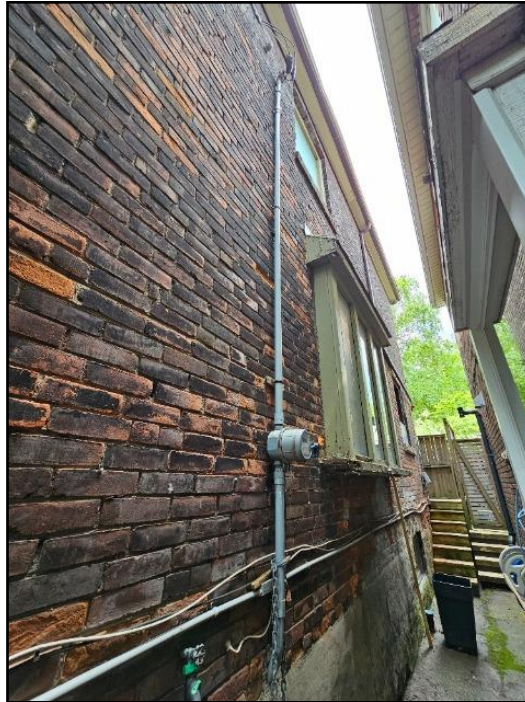
11. Condition: • No structure recommendations are offered as a result of this inspection.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Description

Service entrance cable and location:

- Overhead



Service size:

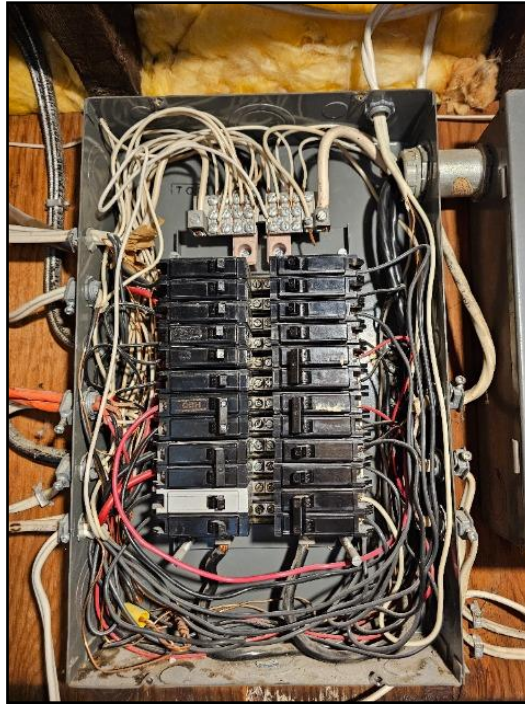
- 100 Amps (240 Volts)



Main disconnect/service box rating: • 100 Amps

Main disconnect/service box type and location:

- Breakers - basement



System grounding material and type: • Copper - water pipe

Distribution wire (conductor) material and type: • Copper - non-metallic sheathed

Type and number of outlets (receptacles): • Grounded - typical

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • GFCI - bathroom • GFCI - exterior

Smoke alarms (detectors): • Present

Carbon monoxide (CO) alarms (detectors): • Present

Limitations/Method of Reporting

Inspection limited/prevented by: • Storage • Insulation

System ground: • Continuity not verified • Quality of ground not determined

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Recommendations/Observations

DISTRIBUTION SYSTEM \ Outlets (receptacles)

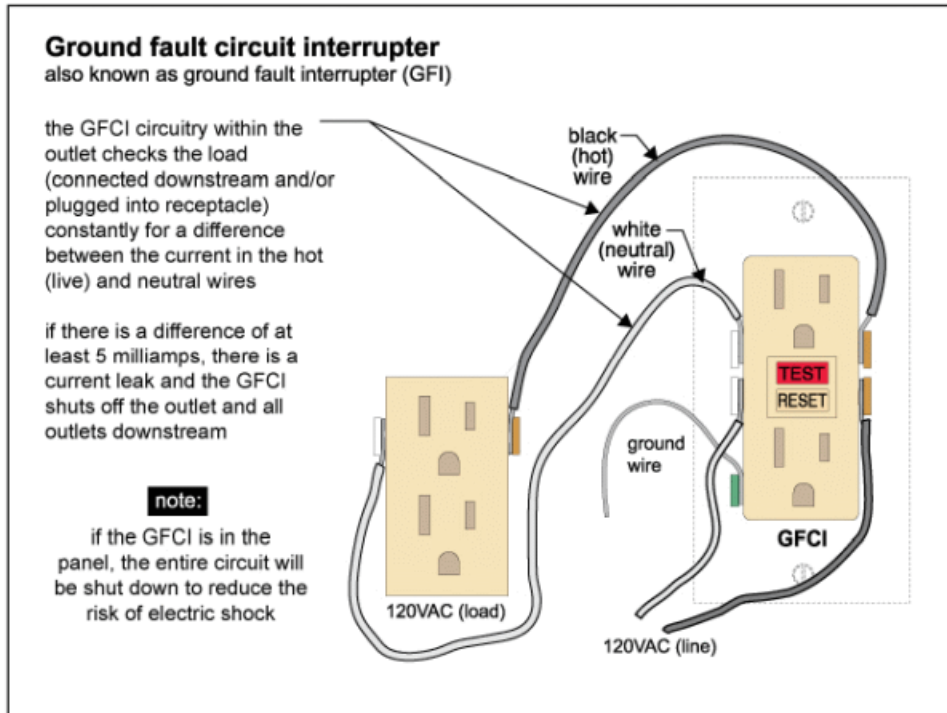
12. Condition: • GFCI/GFI needed (Ground Fault Circuit Interrupter)

GFCI receptacles recommended for any receptacle that is within 5 feet of a water source or on the exterior.

Location: Exterior

Task: Replace

Time: Before use



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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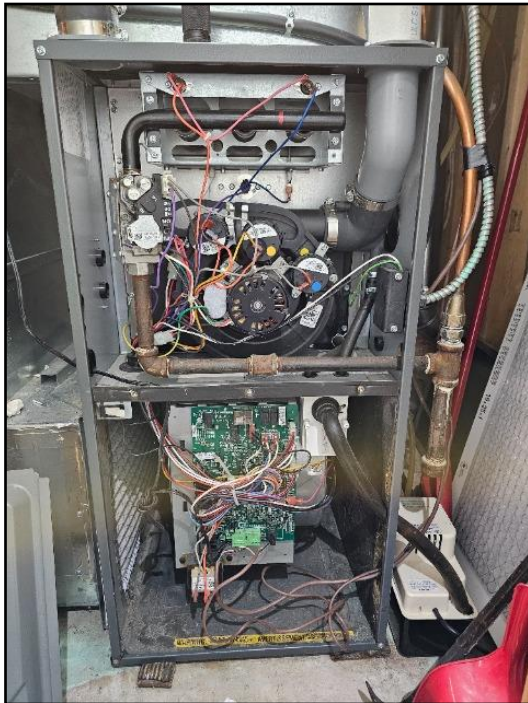
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Description

General: • Recommended to have heating system serviced annually to ensure proper function and optimal efficiency. Many HVAC (Heating Ventilation Air-Conditioning) companies offer service plans to service the mechanical systems of the home.

Heating system type:

- Furnace



Fuel/energy source: • Gas

Furnace manufacturer: • Goodman

Heat distribution: • Ducts and registers

Approximate capacity: • 60,000 BTU/hr

Efficiency: • High-efficiency

Exhaust venting method: • Direct vent - sealed combustion

Combustion air source: • Outside - sealed combustion

Approximate age: • 8 years

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Main fuel shut off at:

- Meter

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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• Basement

Humidifier:

• Humidifier



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPLIANCES	APPENDIX	REFERENCE						

Limitations/Method of Reporting

Safety devices: • Not tested as part of a building inspection

Heat exchanger: • Not accessible

Not included as part of a building inspection: • Interiors of vent systems, flues, and chimneys

Recommendations/Observations

FIREPLACE \ General notes

13. Condition: • Inspect chimney, and sweep, if needed before using
Fireplace should be inspected to receive a WETT certification prior to any use.

Location: First Floor

Task: Further evaluation

Time: Before use



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Description

General: • Yearly maintenance of the cooling system by a qualified HVAC specialist is important to maximize life expectancy and efficiency of the A/C unit. The outdoor A/C unit should be level, and clear from any vegetation/obstructions. The outdoor A/C unit is recommended to be covered ONLY on top for winter time. It's best not to cover the entire unit so as to maintain airflow but keep excess snow and ice from being able to enter into unit.

Air conditioning type:

- Air cooled



Manufacturer: • Goodman

Cooling capacity: • 2 Tons

Compressor approximate age: • 8 years

Typical life expectancy: • 15 to 20 years

Supply temperature:

- 14 Celsius

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Refrigerant type: • R-410A

Limitations/Method of Reporting

Heat gain calculations: • Not done as part of a building inspection

Not part of a home inspection: • Home inspectors cannot typically access or inspect the indoor coil • Home inspectors do not verify that the size of the indoor coil matches the outdoor coil

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Description

Attic/roof insulation material: • Not visible
Attic/roof insulation amount/value: • Not visible
Attic/roof air/vapor barrier: • Not visible
Attic/roof ventilation: • None found

Limitations/Method of Reporting

Inspection limited/prevented by lack of access to: • Roof space • Wall space • Floor space
Air/vapor barrier system: • Continuity not verified

Recommendations/Observations

RECOMMENDATIONS \ Overview
14. Condition: • No insulation recommendations are offered as a result of this inspection.

Description

General:

- Seasonal shut offs for winter. Ensure to winterize mid October by: shutting off valve inside, opening the faucets outside to let any excess water drain out. Ensure that any hoses or attachments are disconnected.



Water supply source (based on observed evidence): • Public

Service piping into building: • Copper

Supply piping in building: • Copper • PEX (cross-linked Polyethylene)

Main water shut off valve at the:

- Front of the basement

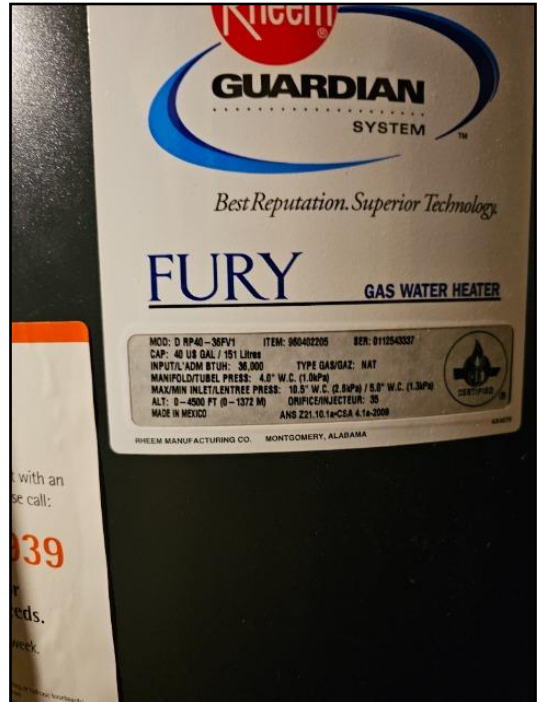
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Water flow and pressure: • Typical for neighborhood

Water heater type:

- Tank



[REDACTED], Toronto, ON May 22, 2024

SUMMARY

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Water heater fuel/energy source: • Gas

Water heater manufacturer: • Rheem

Water heater tank capacity: • 40 gallons

Water heater approximate age: • 12 years

Water heater typical life expectancy: • 10 to 15 years

Waste disposal system: • Public

Waste and vent piping in building: • ABS plastic • Not visible

Pumps: • Condensate pump

Floor drain location: • Near laundry area • Near heating system • Near water heater

Limitations/Method of Reporting

Items excluded from a building inspection: • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

Recommendations/Observations

RECOMMENDATIONS \ General

15. Condition: • Recommended to have sewer line(drain) to be scoped to ensure there is no damage to it. This is a recommendation for every home as there is no access to drain. This scoping is especially important for older homes (due to drainage clay pipes) and homes with large trees present around the property (root damage).

WASTE PLUMBING \ Traps - installation

16. Condition: • Nonstandard shape or material

The type of trap installed is referred to as an "S" trap and can potentially siphon water out of the regular trap allowing exhaust gases to enter into the building.

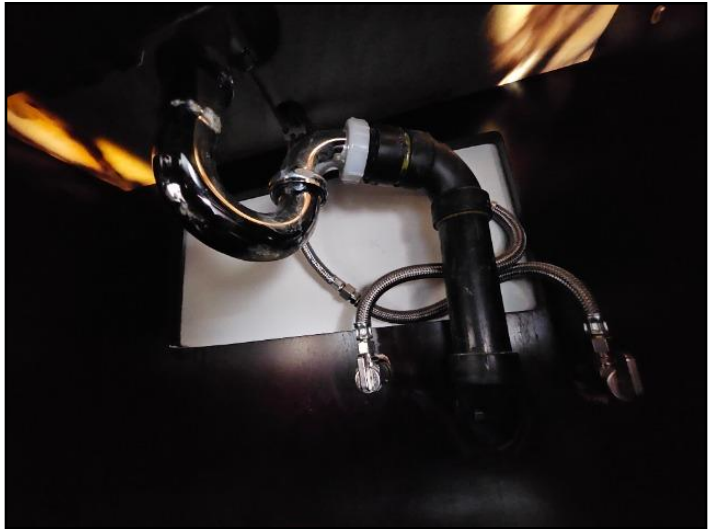
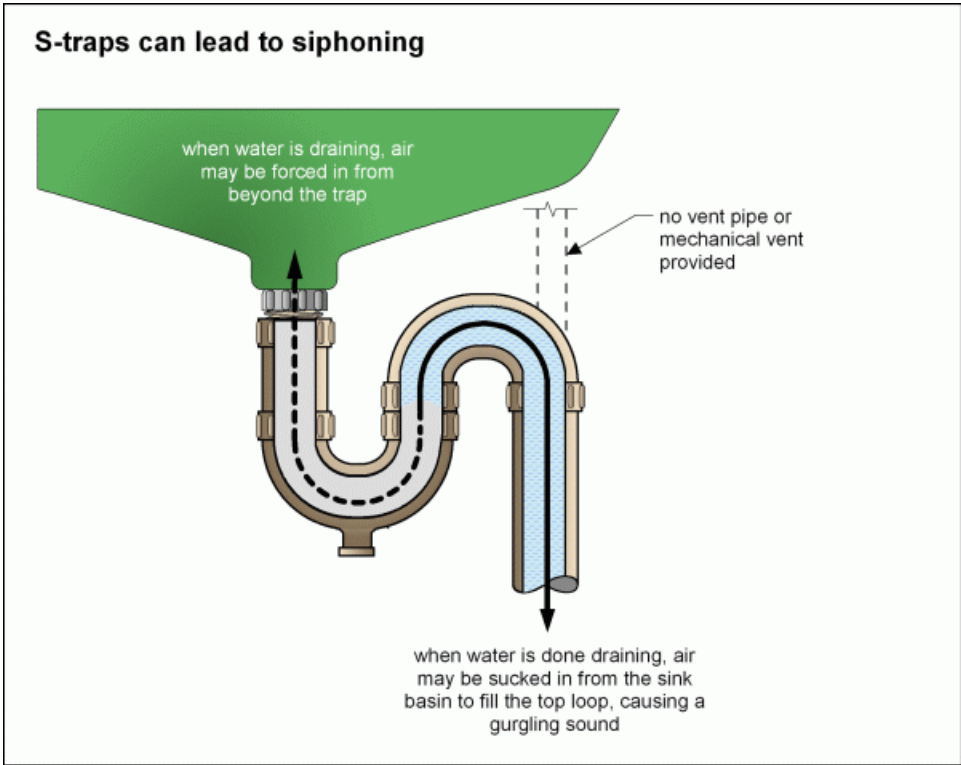
The drainage pipe was installed in this fashion to prevent modification to the vanity cabinet.

Location: Second Floor Hallway Bathroom, Laundry Tub

Task: Repair

Time: When necessary

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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FIXTURES AND FAUCETS \ Faucet

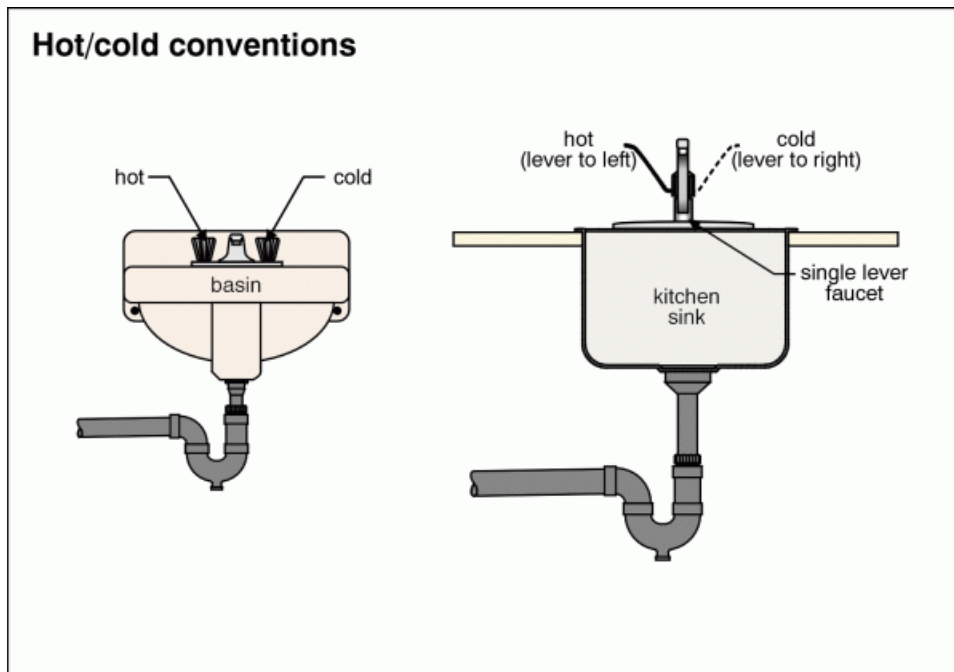
17. Condition: • Hot and cold reversed

Cold should always be on the right and hot on the left, this fixture was backwards.

Location: Basement Bathroom

Task: Repair

Time: When necessary



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPLIANCES	APPENDIX	REFERENCE						



Description

Major wall and ceiling finishes: • Plaster/drywall

Windows: • Fixed • Sliders • Casement

Glazing: • Double

Evidence of basement leakage: • Efflorescence

Oven fuel: • Electricity

Kitchen ventilation: • None - See recommendations of appliance page

Bathroom ventilation: • Exhaust fan

Laundry room ventilation: • Clothes dryer vented to exterior

Limitations/Method of Reporting

Inspection limited/prevented by: • Storage/furnishings • New finishes/paint • Storage in closets and cabinets / cupboards • Finished Basement

Not included as part of a building inspection: • Perimeter drainage tile around foundation, if any • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Floor coverings • This inspection does not cover legal use as multiple unit home or fire code compliance.

Cosmetics: • No comment offered on cosmetic finishes

Percent of foundation not visible: • 95 %

Basement leakage: • Cannot predict how often or how badly basement will leak • Storage in basement limited inspection

Recommendations/Observations

FLOORS \ General notes

18. Condition: • Floor slope/sag is typical in a home of this era. Typically this is not a major issue unless the sloping worsens in a short period of time.

Minor sloping was noted in the master bedroom.

This is generally not a major issue unless sag/slope gets worse over a short period of time.

Deflection leading to sloping of the floors is typical in older homes of this type.

Location: Second Floor

Task: Monitor

Time: Unpredictable

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPLIANCES	APPENDIX	REFERENCE						



EXHAUST FANS \ Kitchen range exhaust system (range hood)

19. Condition: • Missing

Gas cooktop does not have any form of ventilation present. Ventilation is critical for a gas cooktop.

Location: Kitchen

Task: Provide

Time: Before use of cooktop



BASEMENT \ Wet basement - evidence

20. Condition: • Efflorescence

Every basement will leak under the correct circumstances.

The most important thing we must do is control the water around the home.

Eaves trough (gutters and downspouts) should always be clean and discharge 6 feet away from the building.

We should not have trees, planters or any plants next to the foundation as watering them will greatly increase the chance of water penetration.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPLIANCES	APPENDIX	REFERENCE						

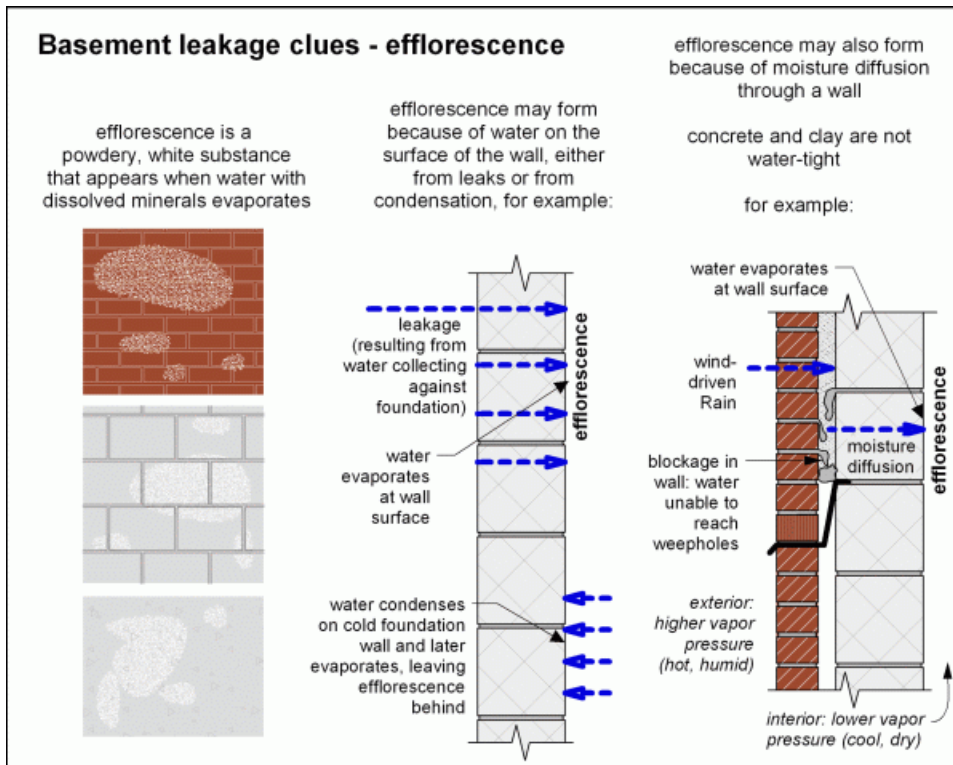
Grading must be sloped in such a way around the home that it diverts water away from the foundation. If leakage continues after these fixes a qualified waterproofing company is recommended for repair.

Efflorescence was noted on the accessible walls of the basement. Refer to exterior section for recommendations to drastically improve water management from the exterior.

Location: Furnace Room

Task: Improve

Time: Ongoing



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPLIANCES	APPENDIX	REFERENCE						

COMMENTS \ Additional

21. **Condition:** • This inspection does not cover legal use as multiple unit home or fire code compliance.

SITE INFO

[REDACTED], Toronto, ON May 22, 2024

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPLIANCES	APPENDIX	REFERENCE						

Description

Weather: • Clear
Approximate temperature: • 28°
Attendees: • Seller • Seller's Agent
Utilities: • All utilities were on during the inspection.
Approximate age of home: • More than 100 years

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPLIANCES	APPENDIX	REFERENCE						

Description

General:

- Microwave



Cooktop:

- Gas



Exhaust fan/range hood: • None

Oven:

- Wall oven

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPLIANCES	APPENDIX	REFERENCE						



Refrigerator:

- Side-by-side



Dishwasher:

- Under-counter

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPLIANCES	APPENDIX	REFERENCE						



Washer and dryer:

- Front-loading washer



- Electric dryer



Limitations/Method of Reporting

General: • Appliances are tested for basic operation only. For example, the accuracy of the oven temperature is not tested, nor is the self-cleaning feature. Defrosting features on refrigerators and freezers are not tested. Dishwashers are not put through a full cycle, and the effectiveness of the drying cycle is not tested.

Not Tested/Not In Service: • Microwave • Washing Machine - Needs to be tested for a full cycle. • Dishwasher - Needs to be tested for a full cycle.

Recommendations/Observations

LAUNDRY FACILITIES \ Dryer venting

22. Condition: • Dryer vent is clogged

Location: Right side (facing home)

Task: Clean

Time: Regular maintenance

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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END OF REPORT

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPLIANCES	APPENDIX	REFERENCE						




THREE STEPS TO COST-EFFECTIVE BASEMENT FLOOD PROTECTION

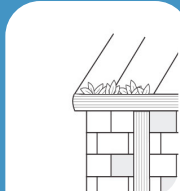
Complete these 3 steps to reduce your risk of basement flooding and lower the cost of cleanup if flooding occurs. For items listed under step 3 check with your municipality about any permit requirements and the availability of flood protection subsidies.

Step 1: Maintain What You've Got at Least Twice per Year

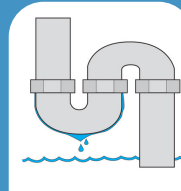
Do-It-Yourself for \$0



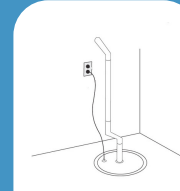
Remove Debris from Nearest Storm Drain



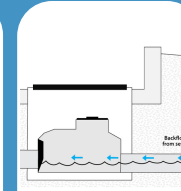
Clean Out Eaves Troughs



Maintain Plumbing, Fixtures and Appliances



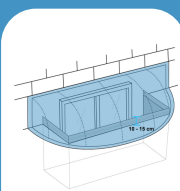
Test Your Sump Pump



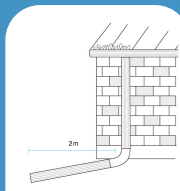
Clean Out Your Backwater Valve

Step 2: Complete Simple Upgrades

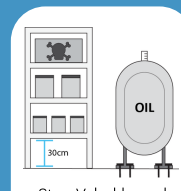
Do-It-Yourself for Under \$250



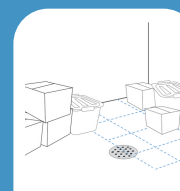
Install Window Well Covers



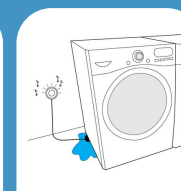
Extend Downspouts and Sump Discharge Pipes at Least 2m from Foundation



Store Valuables and Hazardous Materials in Watertight Containers or Remove from Basement



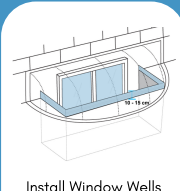
Remove Obstructions to Basement Floor Drain



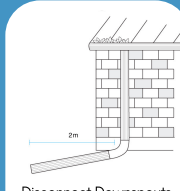
Install and Maintain Flood Alarms

Step 3: Complete More Complex Upgrades

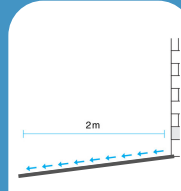
Work with a Contractor for Over \$250



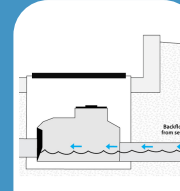
Install Window Wells that Sit 10-15 cm Above Ground and Upgrade to Water Resistant Windows



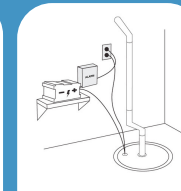
Disconnect Downspouts, Cap Foundation Drains and Extend Downspouts to Direct Water at Least 2m from Foundation



Correct Grading to Direct Water at Least 2m Away from Foundation



Install Backwater Valve



Install Backup Sump Pump and Battery

Note: Not all actions will be applicable to each home. Completing these steps does not guarantee the prevention of basement flooding.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPLIANCES	APPENDIX	REFERENCE						

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS

