



Your Inspection Report

123 Yonge Street
Toronto, ON

PREPARED FOR:
JOHN DOE

INSPECTION DATE:
Wednesday, September 24, 2014

PREPARED BY:
Boris Vorobyov



Scan to download
report

Power Home Inspection
36 Park Lawn Road
Etobicoke, ON M8V 0E5

647 921 2643
www.homeinspectorgta.com
powerhomeinspector@gmail.com

Protect your most important asset.



March 6, 2018

Dear John Doe,

RE: Report No. 1015, v.2
123 Yonge Street
Toronto, ON

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Boris Vorobyov
on behalf of
Power Home Inspection

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AGREEMENT

123 Yonge Street, Toronto, ON September 24, 2014

Report No. 1015, v.2

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PARTIES TO THE AGREEMENT

Company

Power Home Inspection
36 Park Lawn Road
Etobicoke, ON M8V 0E5

Client

John Doe
123 Bathurst Street
Toronto, ON

This is an agreement between John Doe and Power Home Inspection.

THIS CONTRACT LIMITS THE LIABILITY OF THE HOME INSPECTION COMPANY.
PLEASE READ CAREFULLY BEFORE SIGNING.

In addition to the limitations in the Standards of Practice, the Inspection of this property is subject to the Limitations and Conditions set out in this Agreement. The Inspection is performed in accordance with the Standards of Practice of our national association.

LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

1) THE INSPECTION IS NOT TECHNICALLY EXHAUSTIVE.

The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive.

Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may indicate a potential problem that is beyond the scope of the Home Inspection.

If you are concerned about any conditions noted in the Home Inspection Report, we strongly recommend that you consult a qualified Licensed Contractor or Consulting Engineer. These professionals can provide a more detailed analysis of any conditions noted in the Report at an additional cost

2) THE INSPECTION IS AN OPINION OF THE PRESENT CONDITION OF THE VISIBLE COMPONENTS.

The Home Inspector's Report is an opinion of the present condition of the property. It is based on a visual examination of the readily accessible features of the building.

A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, heating, cooling, structure, plumbing and insulation that are hidden or inaccessible.

Some intermittent problems may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. They do not

AGREEMENT

123 Yonge Street, Toronto, ON September 24, 2014

Report No. 1015, v.2

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remove wall coverings (including wallpaper) or lift flooring (including carpet) or move storage to look underneath or behind.

3) THE INSPECTION DOES NOT INCLUDE HAZARDOUS MATERIALS.

This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based insulation, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fireproofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicides or pesticides. The Home Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

4) WE DO NOT COMMENT ON THE QUALITY OF AIR IN A BUILDING.

The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building.

The Inspection does not include spores, fungus, mold or mildew that may be present. You should note that whenever there is water damage noted in the report, there is a possibility that mold or mildew may be present, unseen behind a wall, floor or ceiling.

If anyone in your home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens at additional cost.

5) WE DON'T LOOK FOR BURIED TANKS.

Your Home Inspector does not look for and is not responsible for fuel oil, septic or gasoline tanks that may be buried on the property. If the building had its heating system converted from oil, there will always be the possibility that a tank may remain buried on the property.

If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified Environmental Consultant to determine whether this is a potential problem.

6) TIME TO INVESTIGATE

We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced or otherwise changed before we have had a reasonable period of time to investigate.

7) REPORT IS FOR OUR CLIENT ONLY

The inspection report is for the exclusive use of the client named herein. No use of the information by any other party is intended.

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123 Yonge Street, Toronto, ON September 24, 2014

Report No. 1015, v.2

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8) CANCELLATION FEE

If the inspection is cancelled within 24 hours of the appointment time, a cancellation fee of 50% of the inspection fee will apply.

9) NOT A GUARANTEE, WARRANTY OR INSURANCE POLICY.

The inspection is not a guarantee, warranty or an insurance policy with regard to the fitness of the property.

10) LIMIT OF LIABILITY / LIQUIDATED DAMAGES

The liability of the Home Inspector and the Home Inspection Company arising out of this Inspection and Report, for any cause of action whatsoever, whether in contract or in negligence, is limited to a refund of the fees that you have been charged for this inspection.

I, John Doe (Signature)_____, **(Date)**_____, **have read, understood and accepted the terms of this agreement.**

ROOFING

123 Yonge Street, Toronto, ON September 24, 2014

Report No. 1015, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Sloped roofing material: • [Asphalt shingles](#)

Sloped roof flashing material: • Metal

Probability of leakage: • Low

Limitations/Method of Reporting

Roof inspection limited/prevented by: • Lack of access (too slippery/fragile) • Wet roof surface hides flaws • Trees

Inspection performed: • With binoculars from the ground • From roof edge

Recommendations/Observations

SLOPED ROOFING \ Asphalt shingles

1. Condition: • [Cupping, curling, clawing](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout

Task: Repair or replace

Time: Less than 4 years



Cupping, curling, clawing



Cupping, curling, clawing

EXTERIOR

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Report No. 1015, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout discharge: • [Below grade](#) • [Above grade](#)

Lot slope: • [Away from building](#) • [Towards building](#) • [Flat](#)

Driveway: • Asphalt

Limitations/Method of Reporting

Inspection limited/prevented by: • Storage • Poor access under steps, deck, porch • Vines/shrubs/trees against wall

Upper floors inspected from: • Ground level

Exterior inspected from: • Ground level

Recommendations/Observations

General

2. • Vent grill to low to the ground. Can get blocked by snow accumulation.

Location: West Exterior Wall

Task: Further evaluation

Time: Less than 1 year



OPTIONAL \ Exterior

3. **Condition:** • Vent not sealed around. Water penetration is possible.

Location: East

Task: Repair

Time: Immediate

EXTERIOR

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Report No. 1015, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



ROOF DRAINAGE \ Gutters

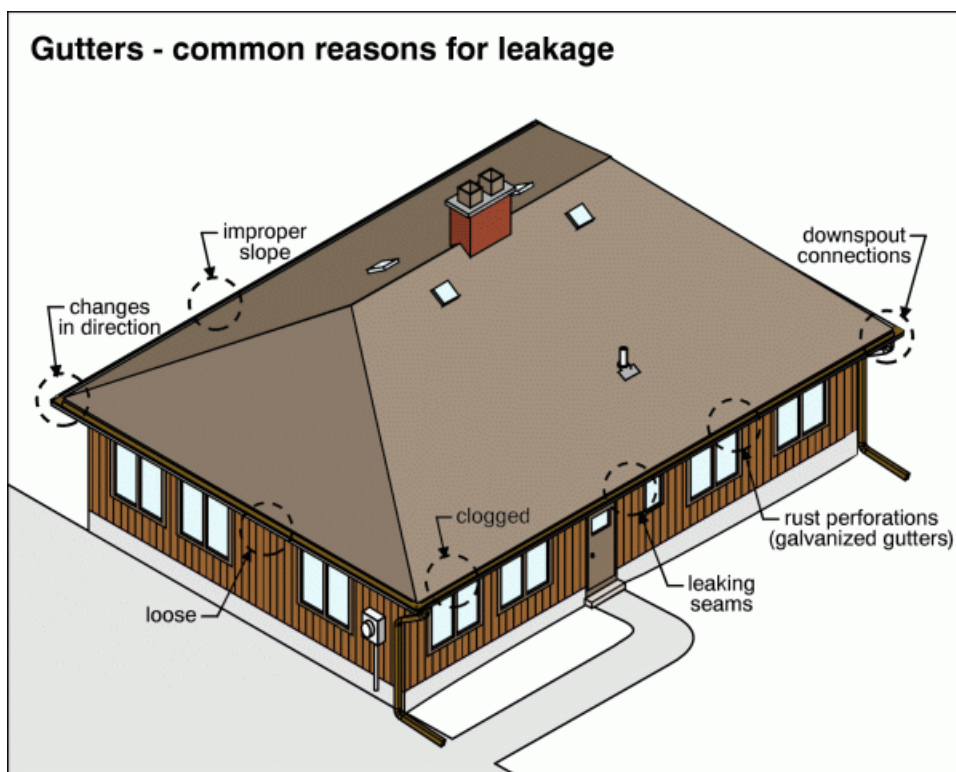
4. Condition: • [Clogged](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout

Task: Clean

Time: Less than 1 year



EXTERIOR

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Report No. 1015, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



Clogged

5. Condition: • [Loose or damaged](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: West Exterior

Task: Repair or replace

Time: Less than 1 year

EXTERIOR

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Report No. 1015, v.2

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EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

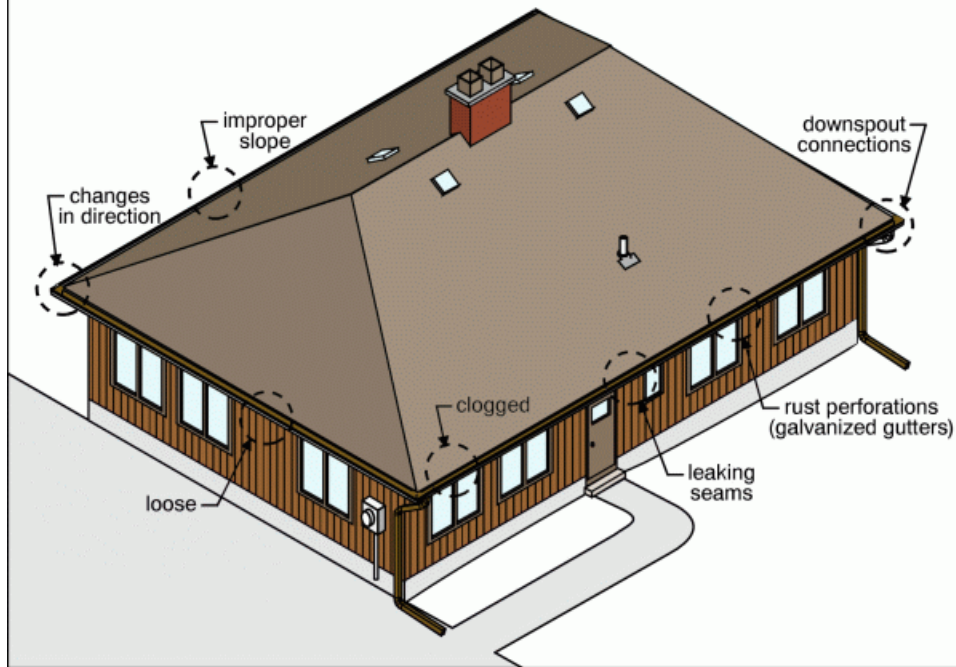
INSULATION

PLUMBING

INTERIOR

REFERENCE

Gutters - common reasons for leakage



Loose or damaged

ROOF DRAINAGE \ Downspouts

6. Condition: • [Not well secured](#)

Implication(s): Leakage

Location: South

Task: Repair

Time: Less than 1 year

EXTERIOR

123 Yonge Street, Toronto, ON September 24, 2014

Report No. 1015, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



Not well secured

WALLS \ Soffits and fascia

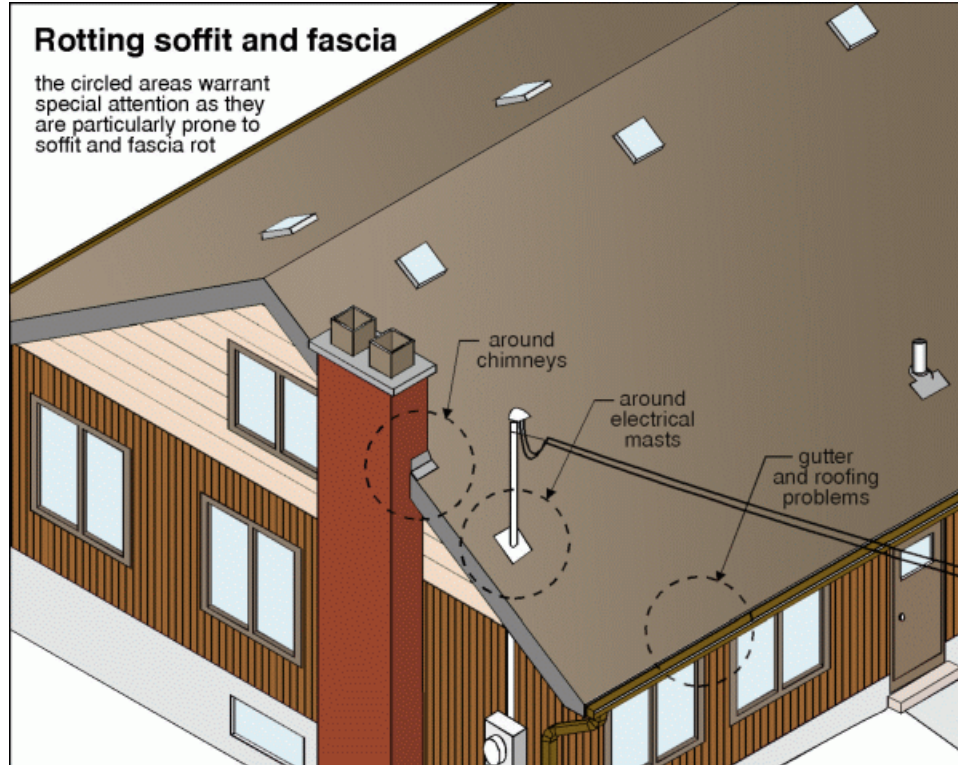
7. Condition: • [Paint or stain - deteriorated / missing](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Shortened life expectancy of material

Location: Throughout

Task: Repair

Time: Less than 2 years





Paint or stain needed

WALLS \ Brick, stone and concrete

8. Condition: • [Mortar deterioration](#)

Water spilling over causing mortar deterioration.

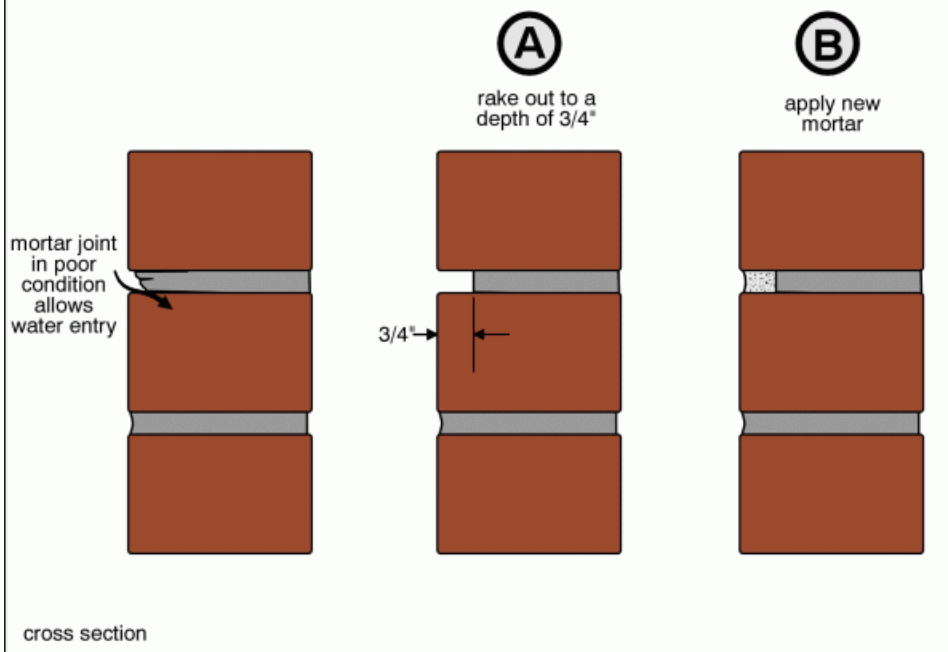
Implication(s): Chance of water entering building | Weakened structure | Chance of structural movement

Location: East

Task: Repair or replace

Time: Immediate

Repointing



EXTERIOR

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Report No. 1015, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



Mortar deterioration

LANDSCAPING \ Lot grading

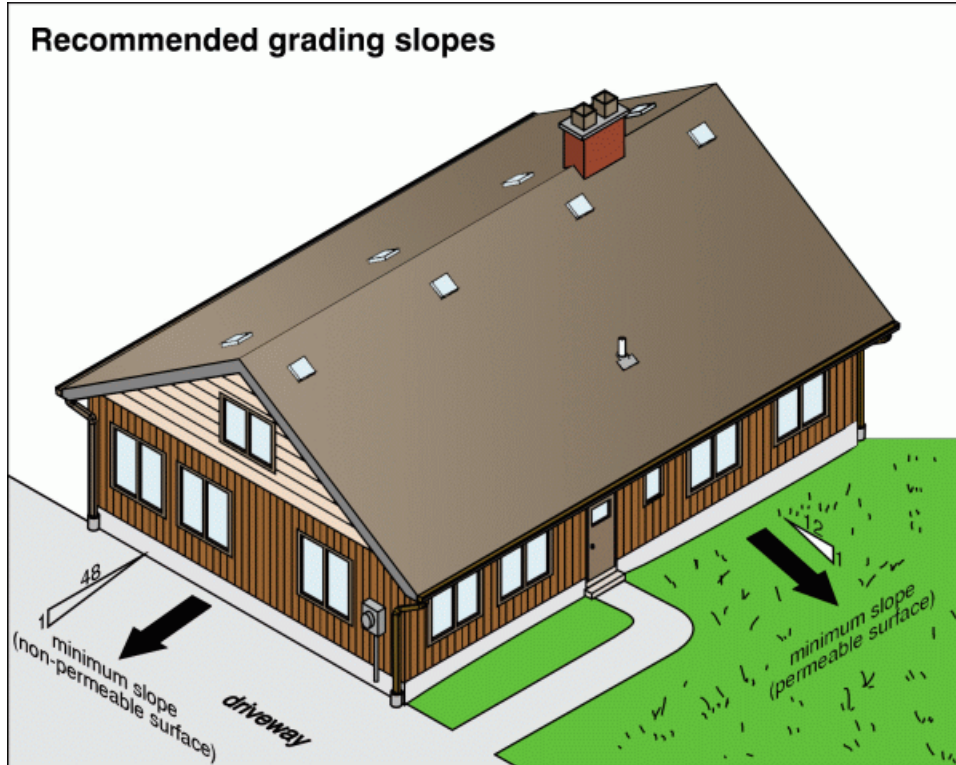
9. Condition: • [Improper slope or drainage](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: East

Task: Repair or replace

Time: Immediate



EXTERIOR

123 Yonge Street, Toronto, ON September 24, 2014

Report No. 1015, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

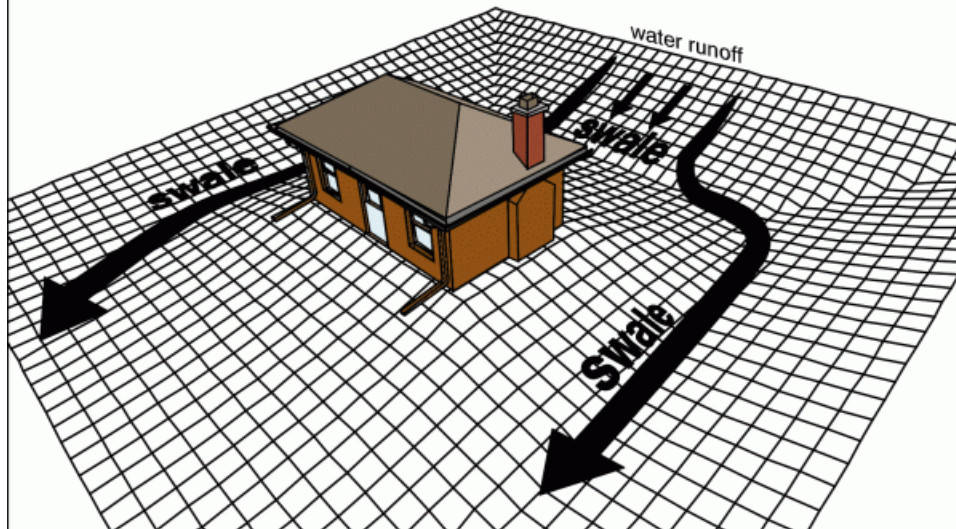
PLUMBING

INTERIOR

REFERENCE

Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



Improper slope

LANDSCAPING \ Driveway

10. Condition: • [Cracked or damaged surfaces](#)

Implication(s): Trip or fall hazard

Location: West

Task: Repair or replace

Time: Less than 5 years

EXTERIOR

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Report No. 1015, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



Cracked or damaged surfaces

11. Condition: • [Unsealed gap at building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: West

Task: Provide

Time: Less than 1 year



Unsealed gap at building

Description

Configuration: • [Basement](#)

Foundation material: • [Masonry block](#)

Floor construction: • [Joists](#)

Exterior wall construction: • [Masonry](#)

Roof and ceiling framing: • [Rafters/roof joists](#)

Limitations/Method of Reporting

Inspection limited/prevented by: • Storage • Insulation

Attic/roof space: • Entered but access was limited

Percent of foundation not visible: • 90 %

Not included as part of a building inspection: • Visible mold evaluation is not included in the building inspection report

Recommendations/Observations

FOUNDATIONS \ General

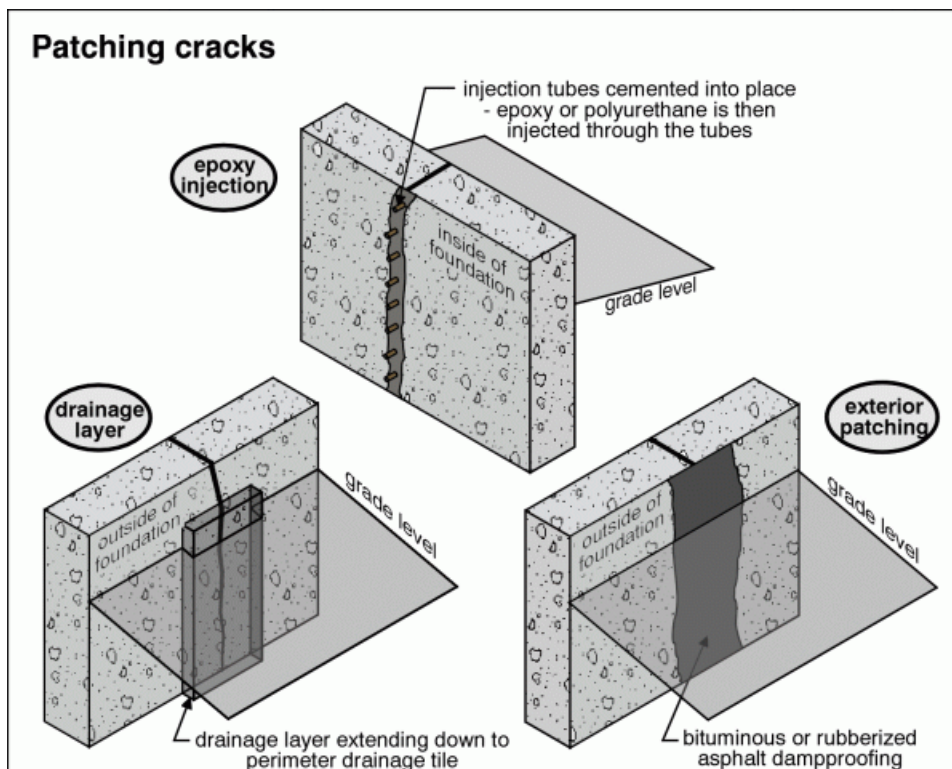
12. Condition: • Typical minor cracks

Implication(s): Chance of water entering building

Location: Throughout

Task: Repair or replace Further evaluation

Time: Less than 1 year



Crack repair - epoxy and polyurethane injection

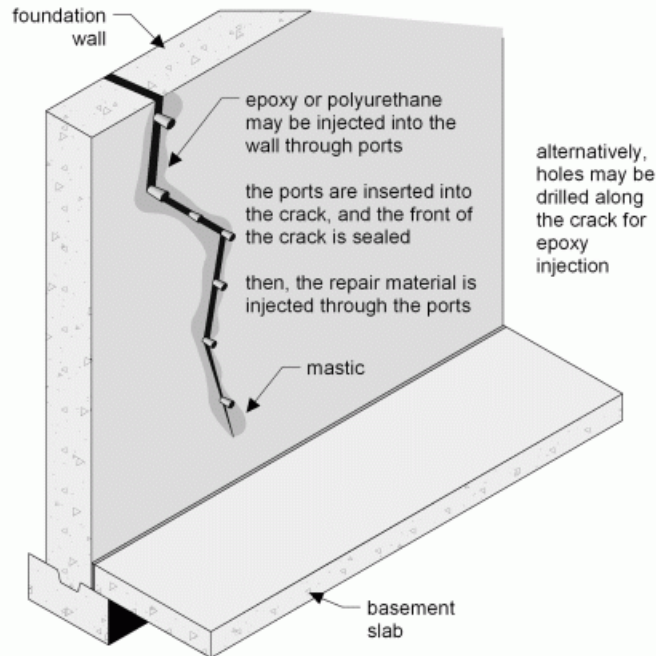
polyurethane is flexible and is not a structural repair, however, it can prevent leakage

it starts out with low viscosity, then expands within the crack

do-it-yourself crack repair kits usually feature polyurethane foam

epoxy is as strong as concrete and forms a structural seal

however, it hardens slowly, and if there is space at the back of the crack, it may leak out



alternatively, holes may be drilled along the crack for epoxy injection

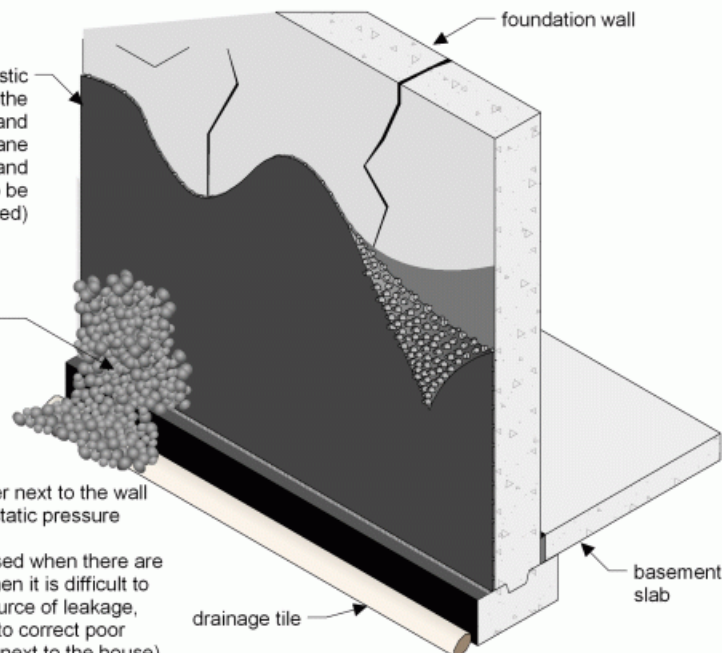
Crack repair - drainage layer

dimpled plastic membrane protects the wall from moisture and provides drainage plane (other membranes and methods may also be used)

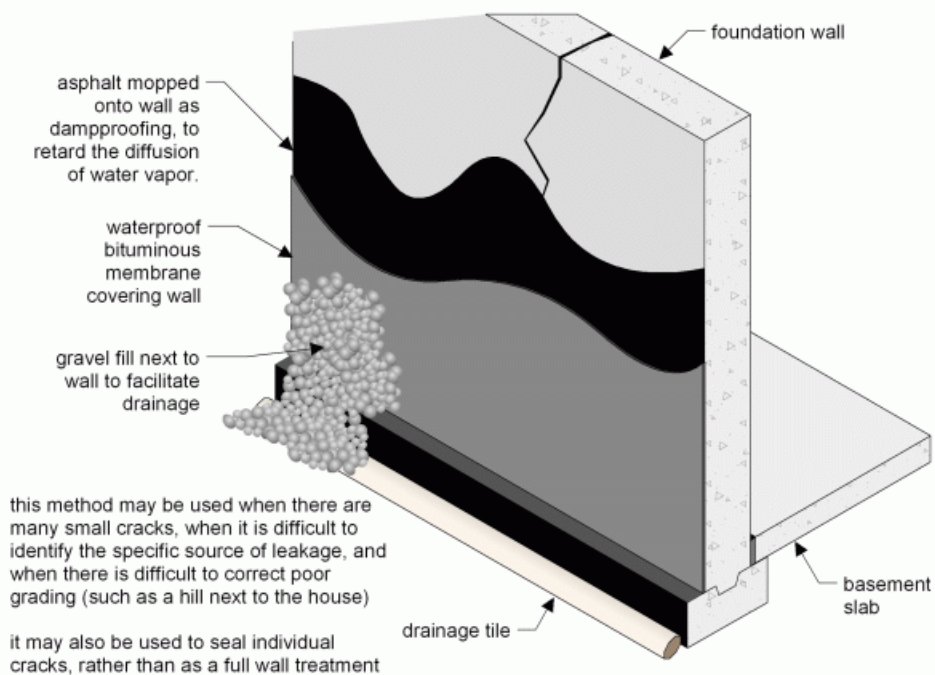
gravel fill next to wall to facilitate drainage

adding a drainage layer next to the wall helps to relieve hydrostatic pressure

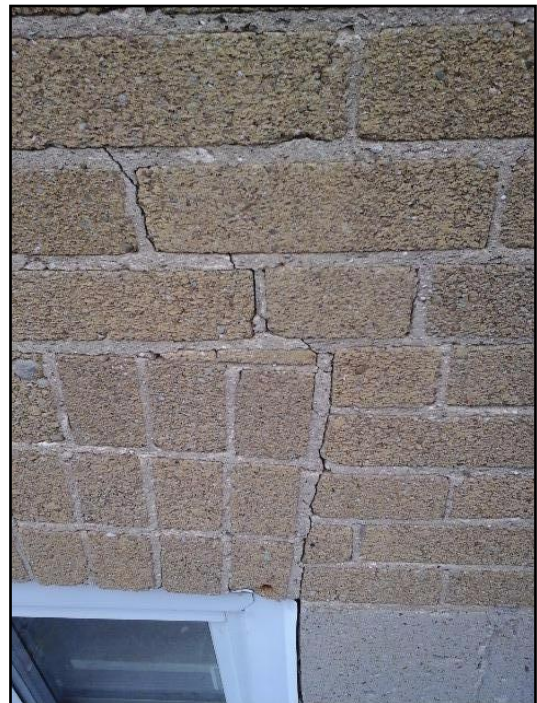
this method may be used when there are many small cracks, when it is difficult to identify the specific source of leakage, and when it is difficult to correct poor grading (such as a hill next to the house).



Crack repair - exterior patching



Typical minor cracks



Typical minor cracks

FLOORS \ Beams

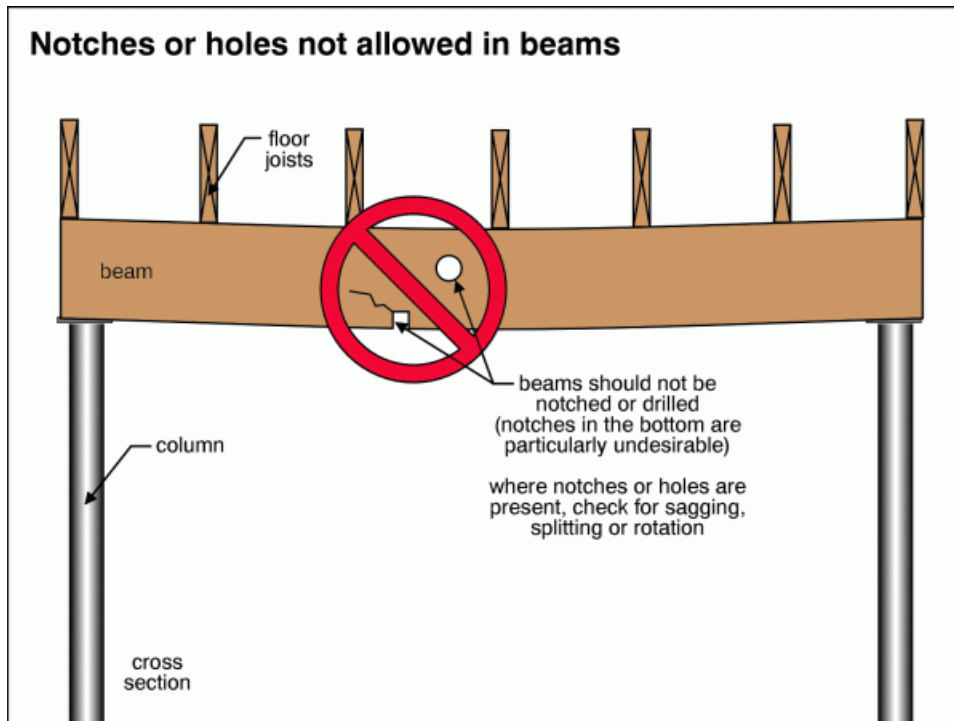
13. Condition: • [Notches or holes](#)

Implication(s): Weakened structure | Chance of structural movement

Location: Basement

Task: Repair or replace Further evaluation

Time: Immediate



Notches or holes

ROOF FRAMING \ Sheathing

14. Condition: • [Mold](#)

Implication(s): Weakened structure | Chance of structural movement

Location: Throughout Attic

Task: Repair or replace Further evaluation

Time: Less than 1 year

STRUCTURE

123 Yonge Street, Toronto, ON September 24, 2014

Report No. 1015, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



Mold

Description

Service entrance cable and location: • [Underground - cable material not visible](#)

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [200 Amps](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

System grounding material and type: • [Copper - water pipe](#)

Distribution wire material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - kitchen](#)

Limitations/Method of Reporting

Inspection limited/prevented by: • Restricted access

System ground: • Continuity not verified • Quality of ground not determined

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Recommendations/Observations

DISTRIBUTION SYSTEM \ Outlets (receptacles)

15. Condition: • [Inoperative](#)

Implication(s): Equipment inoperative

Location: First Floor Kitchen

Task: Replace

Time: Immediate



Inoperative

DISTRIBUTION SYSTEM \ Lights

16. Condition: • [Inoperative](#)

ELECTRICAL

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Report No. 1015, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Implication(s): Inadequate lighting

Location: First Floor Living Room

Task: Further evaluation

Time: Immediate



Inoperative

HEATING

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Report No. 1015, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

System type: • [Furnace](#)

Fuel/energy source: • [Gas](#)

Heat distribution: • [Ducts and registers](#)

Efficiency: • [Mid-efficiency](#)

Approximate age: • [20 years](#)

Main fuel shut off at: • Basement

Combustion air source: • Interior of building

Limitations/Method of Reporting

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • Only a small portion visible

Recommendations/Observations

GAS FURNACE \ Mechanical air filter

17. Condition: • [Dirty](#)

Implication(s): Increased heating costs | Reduced comfort

Location: Basement

Task: Replace

Time: Immediate



Dirty

COOLING & HEAT PUMP

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Report No. 1015, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Air conditioning type: • [Air cooled](#)

Compressor approximate age: • 20 years

Failure probability: • [Medium](#)

Limitations/Method of Reporting

Heat gain calculations: • Not done as part of a building inspection

INSULATION AND VENTILATION

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Report No. 1015, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Attic/roof insulation material: • [Mineral wool](#)

Attic/roof insulation amount/value: • [R-28](#)

Attic/roof air/vapor barrier: • [Kraft paper](#)

Attic/roof ventilation: • [Roof vent](#) • [Gable vent](#)

Limitations/Method of Reporting

Attic inspection performed: • By entering attic, but access was limited

Air/vapor barrier system: • Continuity not verified

Mechanical ventilation effectiveness: • Not verified

Recommendations/Observations

General

18. • Exhaust venting into attic and pipe is not insulated.

Location: Attic

Task: Repair or replace

Time: Immediate



Description

Water supply source: • Public

Service piping into building: • [Plastic](#)

Supply piping in building: • [Copper](#) • [Plastic](#)

Main water shut off valve at the: • Basement

Water heater type: • [Conventional](#)

Water heater fuel/energy source: • [Gas](#)

Water heater approximate age: • 20 years

Waste and vent piping in building: • [ABS plastic](#) • [Copper](#) • [Cast Iron](#)

Limitations/Method of Reporting

Inspection limited/prevented by: • Water supply turned off

Fixtures not tested/not in service:

• Sink

Sink in first floor Washroom does not have a "P" trap.

Items excluded from a building inspection: • Water quality • Concealed plumbing

Recommendations/Observations

WASTE PLUMBING \ Drain piping - installation

19. Condition: • "P" Trap completely missing.

Location: First Floor Bathroom

Task: Provide

Time: Immediate



WASTE PLUMBING \ Floor drain

20. Condition: • [Grate missing, rusted or obstructed](#)

PLUMBING

123 Yonge Street, Toronto, ON September 24, 2014

Report No. 1015, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Implication(s): Chance of water damage to contents, finishes and/or structure | Trip or fall hazard

Location: Basement

Task: Provide

Time: Immediate



Grate missing, rusted or obstructed

FIXTURES AND FAUCETS \ Faucet

21. Condition: • [Stiff or inoperative](#)

Right faucet calcified and does not turn.

Implication(s): System inoperative or difficult to operate

Location: First Floor Bathroom

Task: Repair or replace

Time: Immediate



Stiff or inoperative

INTERIOR

123 Yonge Street, Toronto, ON September 24, 2014

Report No. 1015, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Major floor finishes: • [Hardwood](#) • [Laminate](#) • [Ceramic](#)

Windows: • [Fixed](#) • [Single/double hung](#) • [Sliders](#) • [Casement](#)

Glazing: • [Single](#) • [Double](#)

Exterior doors - type/material: • Hinged

Kitchen ventilation: • Range hood

Bathroom ventilation: • Exhaust fan

Laundry room ventilation: • Clothes dryer vented to exterior

Inventory Dishwasher:

• Frigidaire



Frigidaire

Inventory Dryer:

• Maytag

INTERIOR

123 Yonge Street, Toronto, ON September 24, 2014

Report No. 1015, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



Maytag

Inventory Range:

- GE



GE

Inventory Refrigerator:

- Whirlpool

INTERIOR

123 Yonge Street, Toronto, ON September 24, 2014

Report No. 1015, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



Whirlpool

Inventory Washing Machine:

- Frigidaire



Frigidaire

Limitations/Method of Reporting

Inspection limited/prevented by: • Storage/furnishings

Not included as part of a building inspection: • Carbon monoxide detectors, security systems, central vacuum

Cosmetics: • No comment offered on cosmetic finishes

Basement leakage: • Cannot predict how often or how badly basement will leak • Storage in basement limited inspection

Recommendations/Observations

CEILINGS \ General

22. Condition: • [Water damage](#)

Leaks from first floor toilet. Staining on piping and rust on ducts.

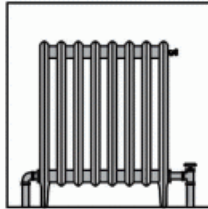
Implication(s): Chance of movement

Location: Basement Furnace Room

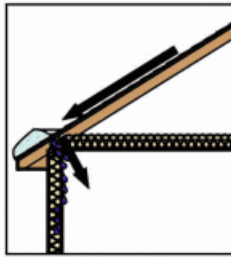
Task: Further evaluation

Time: Immediate

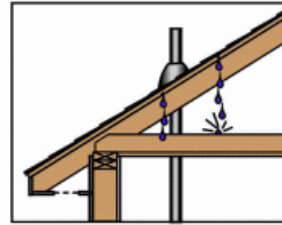
Sources of interior water damage



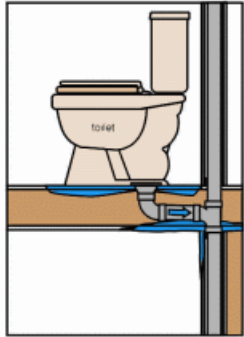
heating leaks



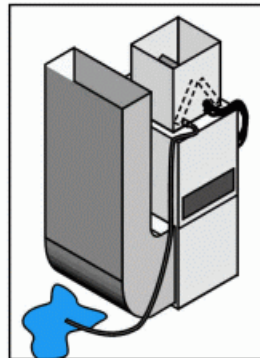
ice damming
and condensation



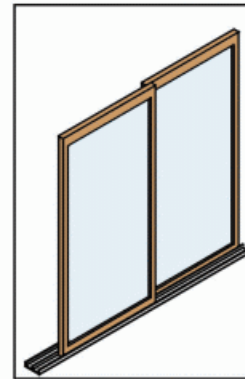
roof or
flashing leaks



plumbing leaks



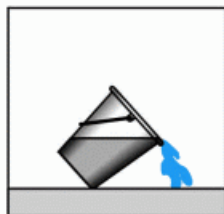
air conditioning leaks



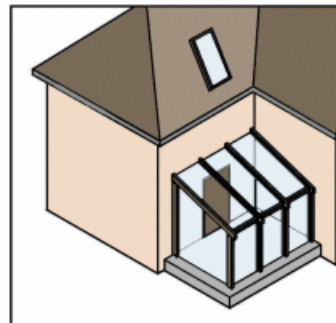
door leaks



melting snow

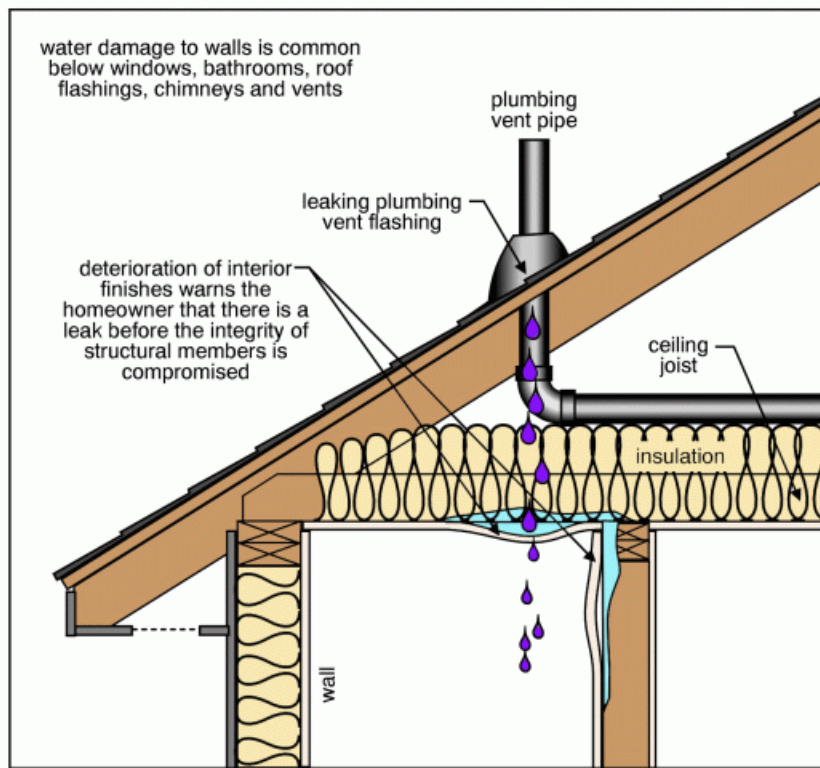


accidental spills



wall, window, solarium and skylight leaks

Common locations for water damage



Water damage

WALLS \ General

23. Condition: • Bottom 2 feet of drywall missing in basement. Likely indicating flood. Water damage on basement baseboards.

Location: Basement

Task: Provide

Time: Less than 1 year

INTERIOR

123 Yonge Street, Toronto, ON September 24, 2014

Report No. 1015, v.2

www.homeinspectorgta.com

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



FLOORS \ Wood/laminate floors

24. Condition: • [Warped](#)

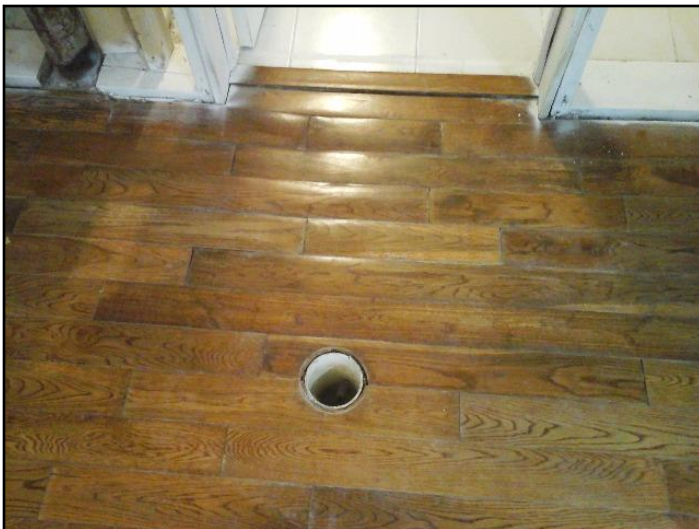
Floor warped from water damage in first floor and basement kitchen

Implication(s): Trip or fall hazard

Location: First Floor & Basement Kitchen

Task: Repair or replace

Time: Less than 1 year



Warped



Warped

INTERIOR

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REFERENCE



Warped

WINDOWS \ Glass (glazing)

25. Condition: • [Cracked](#)

Implication(s): Physical injury

Location: First Floor Living Room

Task: Replace

Time: Immediate



Cracked

WINDOWS \ Frames

26. Condition: • [Rot](#)

Frame badly rotted and door cannot latch properly.

Implication(s): Chance of damage to structure | Material deterioration

Location: First Floor Porch

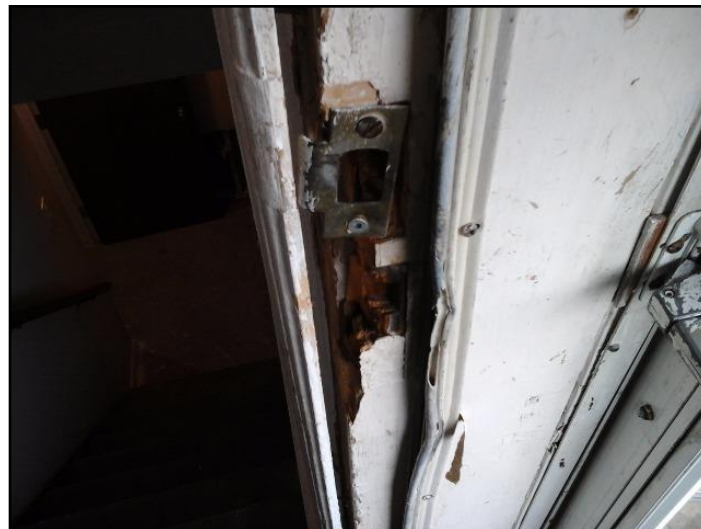
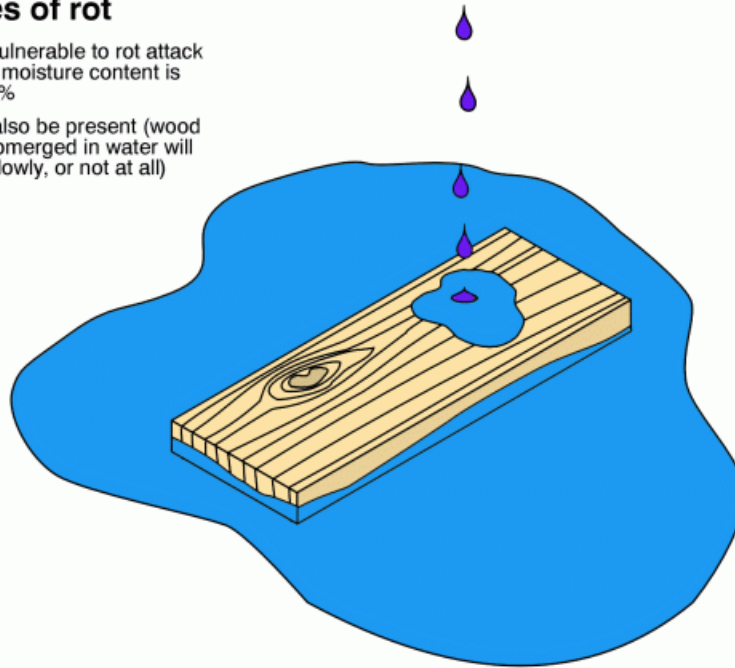
Task: Replace

Time: Immediate

Causes of rot

wood is vulnerable to rot attack when the moisture content is above 20%

air must also be present (wood totally submerged in water will rot very slowly, or not at all)



Rot

STAIRS \ Handrails and guards

27. Condition: • [Loose](#)

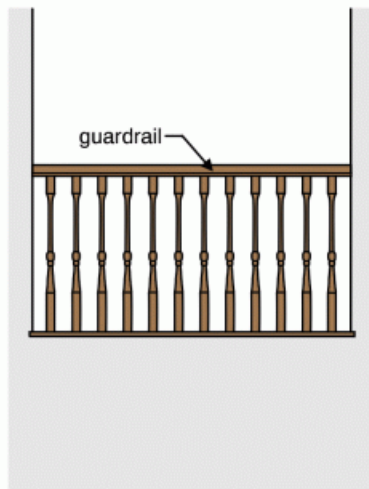
Implication(s): Fall hazard

Location: Basement

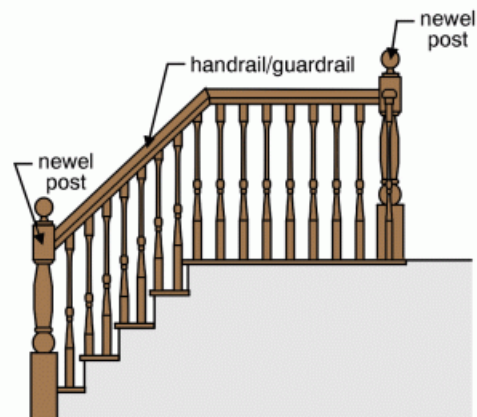
Task: Repair

Time: Immediate

Handrail support



guardrails and handrails anchored to walls are the strongest



if the handrail (or guardrail) is supported at its ends by newel posts and the posts are not well secured, the whole assembly can be loose



Loose

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS