

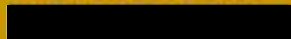
YOUR Inspection Report

Protect your most important asset.

FOR THE PROPERTY AT:



PREPARED FOR:

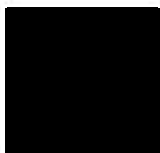


INSPECTION DATE:

Wednesday, August 7, 2019

PREPARED BY:

Boris Vorobyov



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report



Power Home Inspection
36 Park Lawn Road
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September 3, 2019

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Boris Vorobyov
on behalf of
Power Home Inspection

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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

Description

Sloped roofing material: • [Asphalt shingles](#)

Sloped roof flashing material: • Metal

Limitations/Method of Reporting

Roof inspection limited/prevented by: • Lack of access (too high/steep) • Trees

Inspection performed: • With binoculars from the ground

Recommendations/Observations

SLOPED ROOFING \ Asphalt shingles

1. **Condition:** • [Cupping, curling, clawing](#)

Shingles have started to curl, cup and claw. Indicating that they are at the end of their life expectancy they will likely need to be replaced in next 3 years.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout

Time: Less than 3 years



Cupping, curling, clawing



Cupping, curling, clawing

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Cupping, curling, clawing



Cupping, curling, clawing

SLOPED ROOF FLASHINGS \ General

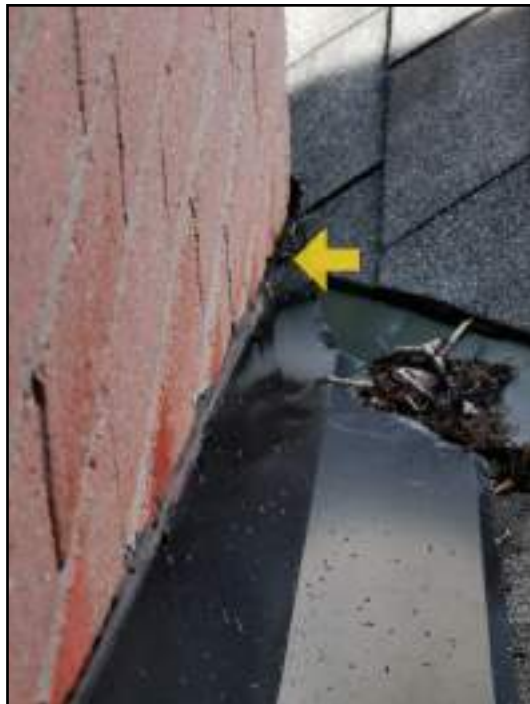
2. Condition: • Replace old and cracked caulking.

Flashing that was installed was done very poorly, at the very least caulking is to be added between wall connection. Flashings throughout home should be replaced when re-shingling.

Location: Throughout

Task: Improve

Time: Less than 1 year



Replace old and cracked caulking.



Replace old and cracked caulking.

August 7, 2019

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ROOFING

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Replace old and cracked caulking.

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

Description

Gutter & downspout material: • [Aluminum](#)
Gutter & downspout type: • [Eave mounted](#)
Downspout discharge: • [Below grade](#) • [Above grade](#)
Lot slope: • [Away from building](#) • [Towards building](#) • [Flat](#)
Wall surfaces and trim: • [Metal siding](#) • [Brick](#)
Wall surfaces - masonry: • [Brick](#)
Driveway: • Interlocking brick
Fence: • Wood • Metal

Limitations/Method of Reporting

Inspection limited/prevented by: • Storage • New finishes/paint/trim • Storage in garage • Poor access under steps, deck, porch • Vines/shrubs/trees against wall
No or limited access to: • Area below steps, deck, porches
Upper floors inspected from: • Ground level
Exterior inspected from: • Ground level
Not included as part of a building inspection: • Screens, shutters, awnings, and similar seasonal accessories

Recommendations/Observations

General

3. • Gutters to be cleaned regularly. If there are trees around the home this can mean several times a year.

Location: Throughout

Task: Clean

Time: Regular maintenance

4. • Ensure grading around home is always sloped away to control water flow and greatly reduce risk of basement leakage

Location: Throughout

Task: Inspect annually

Time: Regular maintenance

ROOF DRAINAGE \ Downspouts

5. **Condition:** • [Discharge below grade](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

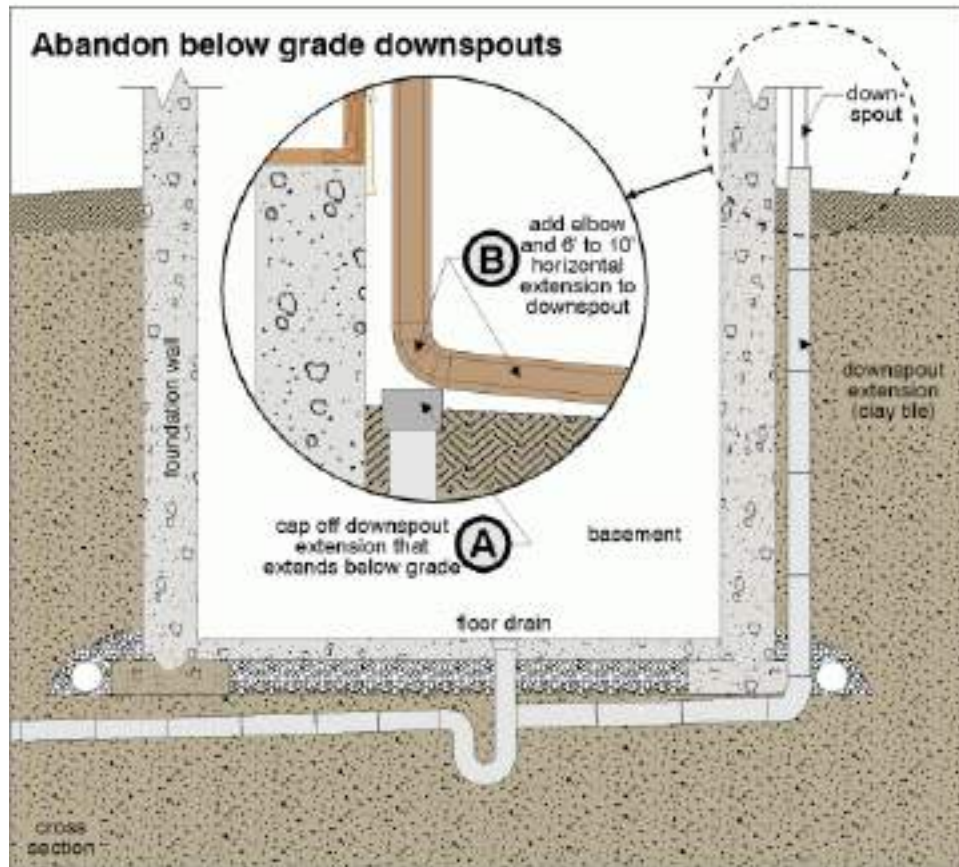
Location: Front

Task: Improve

Time: Discretionary

August 7, 2019

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Discharge below grade



Discharge below grade

WALLS \ Flashings and caulking

6. Condition: • Caulking missing or ineffective

Replace caulking where it is cracked and brittle and provide where it is missing.

Implication(s): Chance of water damage to contents, finishes and/or structure

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

Location: Various

Task: Replace Provide

Time: Immediate



Caulking missing or ineffective



Caulking missing or ineffective

WALLS \ Masonry (brick, stone) and concrete

7. Condition: • [Cracked](#)

Step cracking on bricks in various areas around home. Typically cracks are caused due to minor settlement of home. Since the bricks are not structural but are brick veneer it is not as necessary but still recommended to repair by tuck pointing.

Implication(s): Chance of water entering building | Weakened structure | Chance of movement

Location: Various

Task: Repair

Time: When necessary

August 7, 2019

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Front Porch



Front Porch



Cracked

WALLS \ Vent (fan, clothes dryer, etc.)

8. Condition: • Cover damaged

Implication(s): Increased operating costs

Location: Various

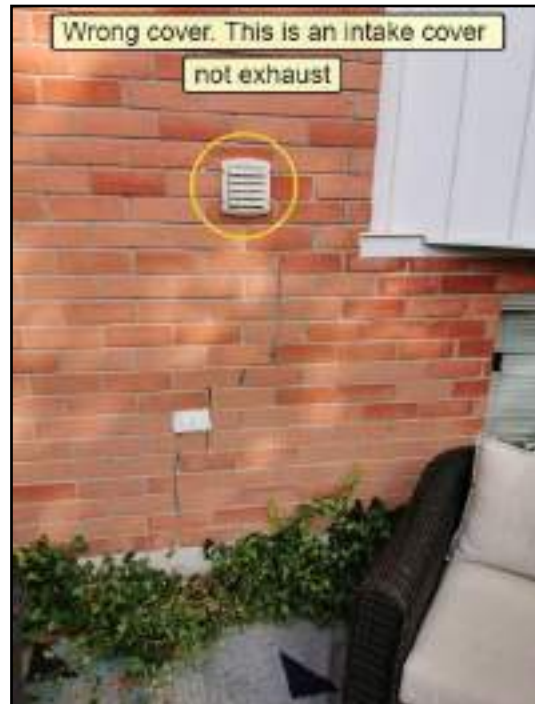
Task: Replace

Time: Less than 1 year

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Cover damaged



Cover damaged



Cover damaged

EXTERIOR GLASS/WINDOWS \ General

9. Condition: • [Lintel sagging](#)

It is not possible to tell when this damage occurred whether it was before the window was was changed or could be from time of construction. Repair cracking by tuck pointing and continue to monitor.

Implication(s): Weakened structure | Chance of structural movement

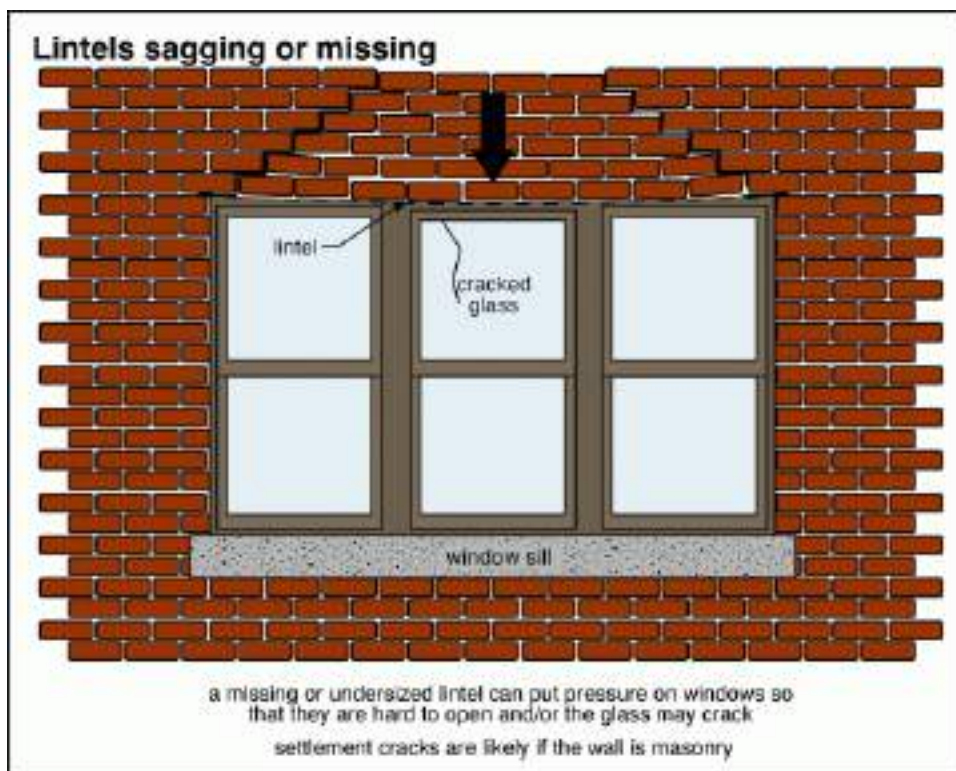
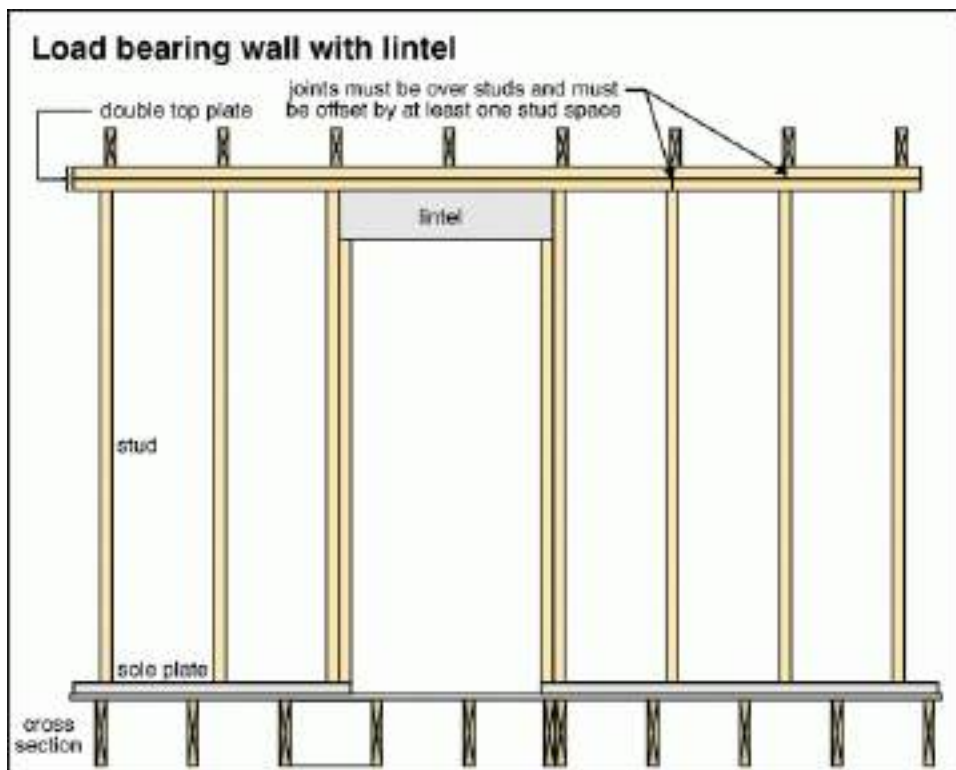
Location: Front

Task: Repair & Monitor

Time: Immediate

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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Lintel sagging

EXTERIOR GLASS/WINDOWS \ Frames

10. Condition: • Rot

Several windows that were original where in poor condition.

Caulking missing

Rot on frames

Cracked Glass

Did not open

It is highly likely that many windows will not be able to be repair and will need to be replaced.

Implication(s): Material deterioration

Location: Various

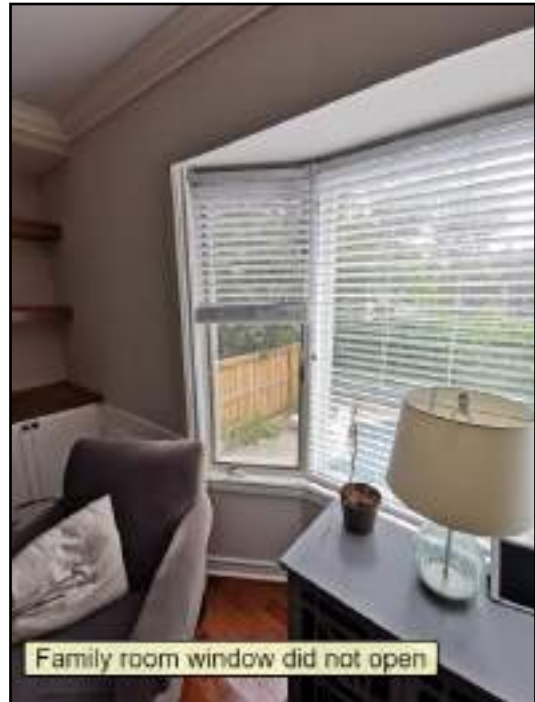
Task: Repair or replace

Time: Immediate



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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Rot

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Rot



DOORS \ Doors and frames

11. Condition: • [Damage](#)

Implication(s): Chance of damage to finishes and structure | Poor security

Location: Garage

Task: Repair or replace

Time: Less than 1 year

August 7, 2019

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Damage

DOORS \ Exterior trim

12. Condition: • [Caulking missing, deteriorated or loose](#)

Open area underneath door.

Implication(s): Chance of damage to finishes and structure

Location: Back of home

Task: Repair

Time: Immediate



Caulking missing, deteriorated or loose



Caulking missing, deteriorated or loose

August 7, 2019

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PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General**13. Condition:** • [Wood/soil contact](#)

Wooden deck structure mounted in ground as opposed to concrete footing. This post is starting to rot and will have to be replaced.

Implication(s): Rot | Insect damage

Location: Back of home

Task: Repair

Time: Less than 1 year



Wood/soil contact



Wood/soil contact

14. Condition: • [Wood/soil contact](#)

Railing need to have balusters that are vertical and no more than 4" apart.

Post was sitting inside the ground and has started rotting.

Implication(s): Rot | Insect damage

Location: Left side (facing home)

Task: Repair

Time: Less than 1 year

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Wood/soil contact



Wood/soil contact



Wood/soil contact

LANDSCAPING \ General

15. Condition: • [Trees or shrubs too close to building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Chance of pests entering building | Material deterioration

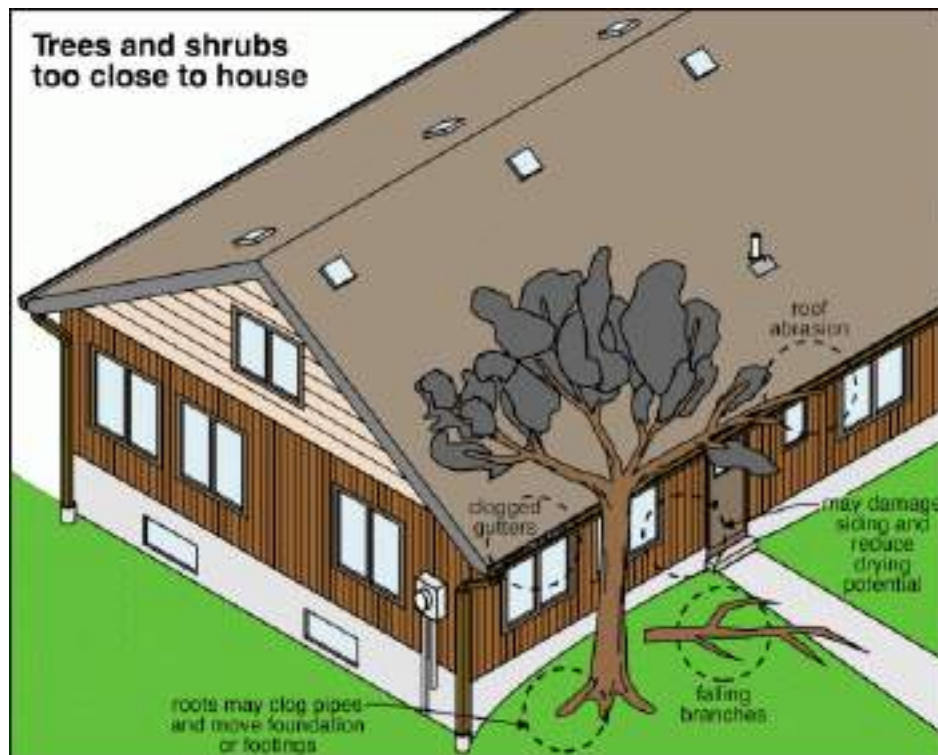
Location: Front

Task: Remove

Time: Discretionary

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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Trees or shrubs too close to building

16. Condition: • Vines on building

Implication(s): Chance of damage to finishes | Chance of pests entering building

Location: Various

Task: Remove

Time: Immediate

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Vines on building

LANDSCAPING \ Retaining wall

17. Condition: • [Rot](#)

Implication(s): Weakened structure | Material deterioration

Location: Left side (facing home)

Task: Replace

Time: Less than 1 year



Rot

GARAGE \ Floor**18. Condition:** • [Improper slope](#)

Noted garage slab is settled towards middle and there has been an extension added to garage door to have it seal against floor. No corrective action needed.

Implication(s): Loss of proper slope for drainage

Location: Garage

Task: Monitor

Time: Unpredictable



Improper slope



Improper slope

GARAGE \ Door into garage / Man-door**19. Condition:** • [No self-closer](#)

Implication(s): Hazardous combustion products entering home | Increased fire hazard

Location: Garage

Task: Improve

Time: Immediate

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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



No self-closer

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APPLIANCES

REFERENCE

Description

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#) • [Masonry block](#)

Floor construction: • [Joists](#) • [Concrete](#)

Exterior wall construction: • [Wood frame / Brick veneer](#)

Roof and ceiling framing: • [Rafters/roof joists](#) • [Trusses](#) • [Plywood sheathing](#)

Limitations/Method of Reporting

Inspection limited/prevented by: • Foundation skirt painted/parged/covered

Inspection limited/prevented by: • Ceiling, wall and floor coverings • Carpet/furnishings • Storage • New finishes/paint • Insulation

Attic/roof space: • Entered but access was limited

Percent of foundation not visible: • 98%

Not included as part of a building inspection: • Visible mold evaluation is not included in the building inspection report

Recommendations/Observations

FOUNDATIONS \ General

20. Condition: • [Cracked](#)

Repair by licensed contractor or basement water proofing company recommended.

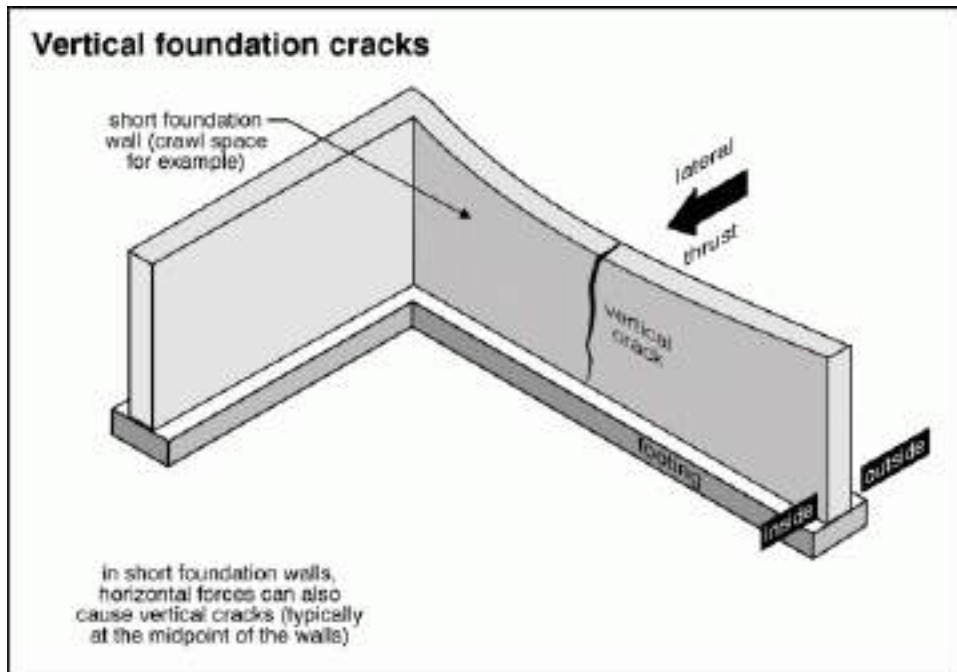
Implication(s): Chance of water damage to contents, finishes and/or structure | Weakened structure

Location: Back of home

Task: Repair

Time: Immediate

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Cracked



Cracked

ROOF FRAMING \ Sheathing

21. Condition: • [Water stains](#)

Small area where there was some water staining around skylight. Area was dry at time of inspection. Likely it is a minor problem, recommended to replace or re-seal skylight when re-shingling and monitor until then.

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ROOFING

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Damage could also be from previous shingles prior to them being replaced.

Implication(s): Material deterioration

Location: Attic

Task: Monitor then Replace

Time: Unpredictable



Water stains



Water stains



Water stains



Water stains

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Description

Service entrance cable and location:

- [Underground - cable material not visible](#)



Underground - cable material not visible

Service size: • [100 Amps \(240 Volts\)](#)**Main disconnect/service box rating:** • [100 Amps](#)**Main disconnect/service box type and location:**

- [Breakers - basement](#)



Breakers - basement

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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

System grounding material and type: • [Copper - water pipe](#)

Auxiliary panel (subpanel) type and location:

- [Breakers - basement](#)



Breakers - basement

Distribution wire material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom and exterior](#)

Smoke alarms (detectors): • See Recommendations

Carbon monoxide (CO) alarms (detectors): • See Recommendations

Limitations/Method of Reporting

Inspection limited/prevented by: • Storage • Insulation

System ground: • Continuity not verified • Quality of ground not determined

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Recommendations/Observations

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

22. Condition: • [FPE \(Federal Pioneer Electric\) - Stablok breakers should be evaluated by Licensed electrician as there](#) are breakers that have been recalled and must be replaced.

Location: Basement

Task: Further evaluation

Time: Immediate



FPE (Federal Pioneer Electric) - Stablok...



FPE (Federal Pioneer Electric) - Stablok...

23. Condition: • [Double taps](#)

Implication(s): Fire hazard

Location: Basement

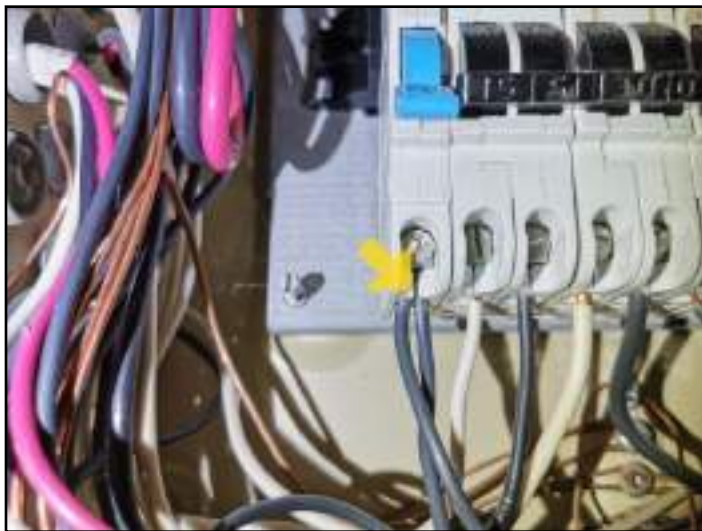
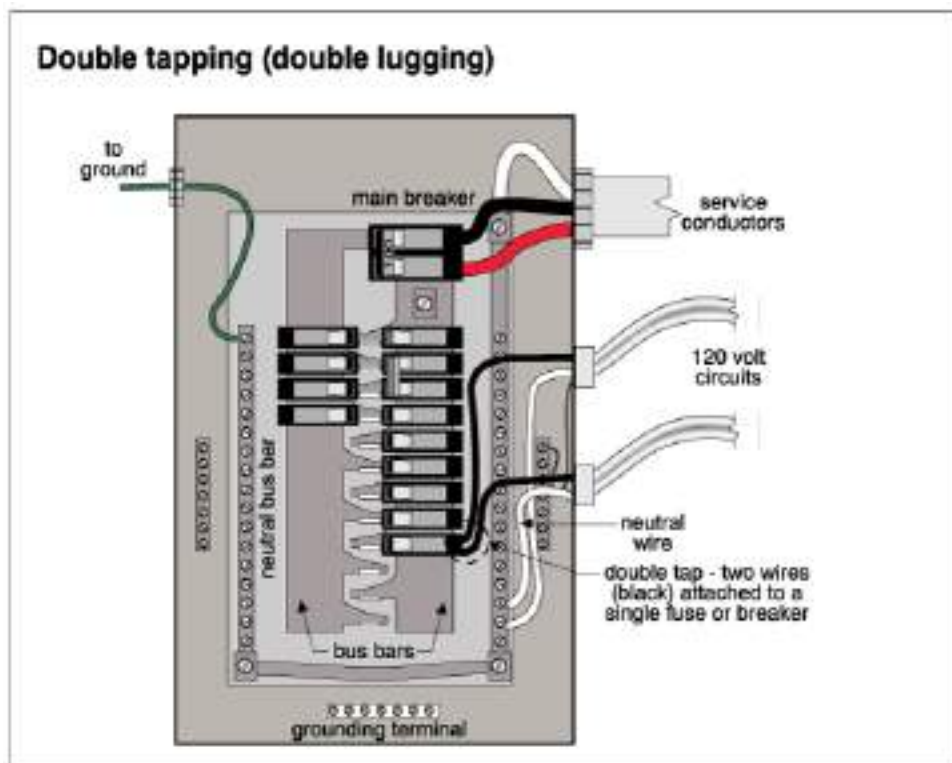
Task: Repair

Time: Less than 1 year

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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

*Double taps**Double taps*

DISTRIBUTION SYSTEM \ Wiring - installation

24. Condition: • Extension cord for garage door opener

Implication(s): Electric shock

Location: Garage

Task: Remove

Time: Discretionary

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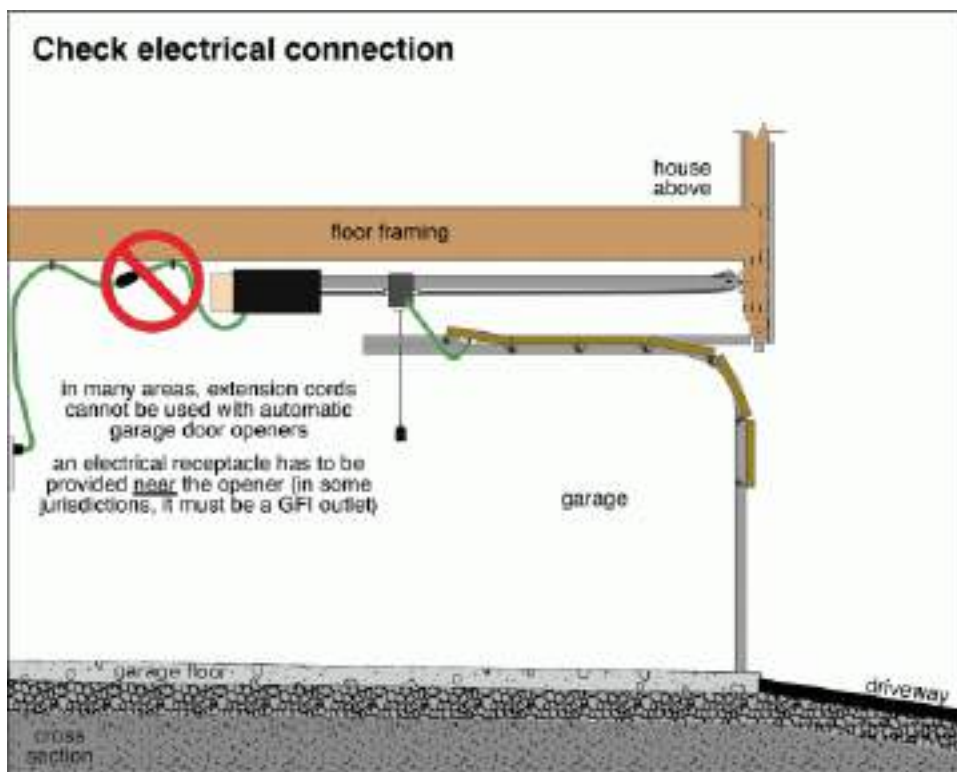
PLUMBING

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Extension cord for garage door opener

DISTRIBUTION SYSTEM \ Outlets (receptacles)

25. Condition: • [Loose](#)

Implication(s): Electric shock | Fire hazard

Location: First Floor Kitchen

Task: Repair

Time: Less than 1 year



Loose

26. Condition: • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

Judging by finishes basement appears to be built after 2012. There were numerous electrical defects that should be evaluated by licensed electrician. Highly likely basement was not wired by a licensed electrician request permit from homeowners.

Implication(s): Electric shock

Location: Basement Kitchen

Task: Repair

Time: Immediate

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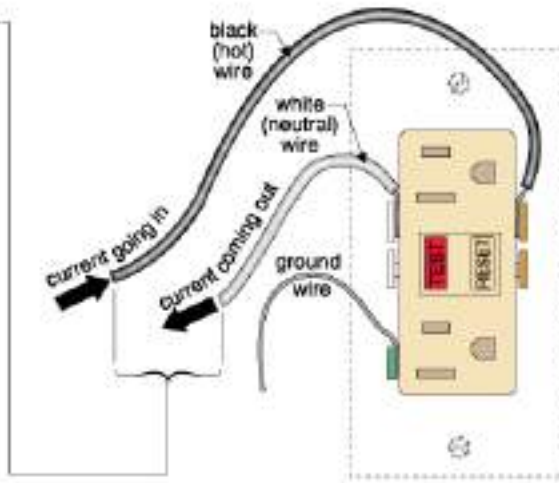
Ground fault circuit interrupter

also known as ground fault interrupter (GFI)

the GFCI circuitry within the outlet checks constantly for a difference between the current in the black and white wires. if there is a difference of at least 5 millamps, there is a current leak and the GFCI shuts off the outlet and all outlets downstream.

note:

if the GFCI is in the panel, the entire circuit will be shut down



GFCI/GFI needed (Ground Fault Circuit...

DISTRIBUTION SYSTEM \ Lights**27. Condition:** • [Inoperative](#)

Several lights around the house are not working. Most likely burnt out bulbs. Request bulbs be changed to ensure fixture is functioning properly.

Implication(s): Inadequate lighting

Location: Various

Task: Request demo

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Garage



Back of home

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)**28. Condition:** • [Inoperative](#)**Implication(s):** Fire hazard**Location:** Basement First Floor Second Floor**Task:** Replace**Time:** Immediate

Inoperative

DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)**29. Condition:** • None observed**Implication(s):** Health hazard**Location:** Basement Second Floor**Task:** Provide**Time:** Immediate

August 7, 2019

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

Description

General: • Recommended to have heating system service annually to ensure proper function and optimal efficiency.

System type:

- [Furnace](#)



Furnace



Furnace



Furnace

August 7, 2019

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- [Fireplace](#)



Fireplace

Fuel/energy source: • [Gas](#)

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • 80,000 BTU/hr

Efficiency: • [High-efficiency](#)

Exhaust venting method: • [Direct vent - sealed combustion](#)

Combustion air source: • Outside - sealed combustion

Main fuel shut off at:

- Meter



Meter

- Basement

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

Limitations/Method of Reporting

Safety devices: • Not tested as part of a building inspection

Fireplace/wood stove: • Connection to chimney not inspected

Heat exchanger: • Not accessible

Not included as part of a building inspection: • Interiors of vent systems, flues, and chimneys

Recommendations/Observations

GAS FURNACE \ Electronic air cleaner

30. Condition: • [Inoperative](#)

Implication(s): Equipment ineffective

Location: Basement

Task: Repair or replace

Time: Immediate



Inoperative

GAS FURNACE \ Ducts, registers and grilles

31. Condition: • No heat source

Each room with exterior wall must have a heat source. Both basement bathrooms and basement kitchen area there was no heat source found. Recommended to add supply from forced air system or have a dedicated heater in each room.

Implication(s): Reduced comfort

Location: Basement Bathrooms + Kitchen

Task: Improve

Time: Immediate

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*No heat source**No heat source**No heat source*

CHIMNEY AND VENT \ Masonry chimney

32. Condition: • [Loose, missing or deteriorated masonry](#)

Implication(s): Material deterioration

Location: Left side (facing home)

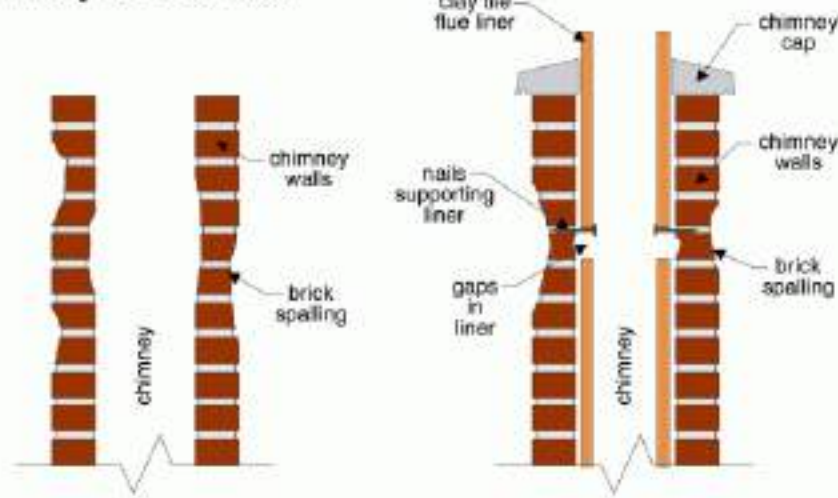
Task: Repair

Time: Less than 1 year

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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

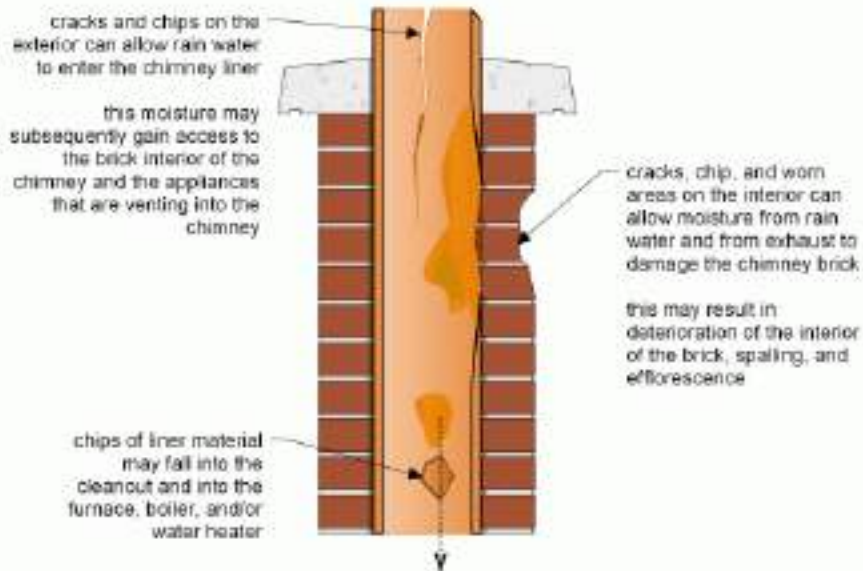
Chimney deterioration



unlined chimneys are particularly prone to damage caused by condensation of flue gases - the damage tends to be worse near the top of the chimney

even lined chimneys can suffer from condensation related brick damage

Deteriorated clay chimney liner



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Loose, missing or deteriorated masonry

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

Description

Air conditioning type:

- [Air cooled](#)



Air cooled



Air cooled

Compressor approximate age: • 15 years

Limitations/Method of Reporting

Heat gain calculations: • Not done as part of a building inspection

Not part of a home inspection: • Home inspectors cannot typically access or inspect the indoor coil • Home inspectors do not verify that the size of the indoor coil matches the outdoor coil

Recommendations/Observations

General

33. • Air Conditioner compressor (outdoor unit) recommended to be covered only on top for winter time. It's best not to cover the entire unit so as to maintain airflow but keep excess snow and ice from being able to enter into unit.

Time: Regular maintenance

34. • Regular yearly maintenance/evaluation of cooling system by a qualified HVAC specialist is important to maximize life expectancy and efficiency. Monitor and maintain complete insulation covering A/C refrigerant lines. Condensate backup or leakage from the indoor coil may lead to damage/ malfunction within the heating/cooling system. The outdoor unit should be level, and clearance from vegetation/obstructions should be maintained. The outdoor coil will require periodic cleaning.

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

Task: Service

Time: Regular maintenance

AIR CONDITIONING \ General

35. Condition: • Service air conditioner

Implication(s): Reduced system life expectancy | Increased cooling costs | Reduced comfort

Location: Left side (facing home)

Task: Service

Time: Regular maintenance



Service air conditioner

AIR CONDITIONING \ Life expectancy

36. Condition: • [Near end of life expectancy](#)

Typical life expectancy of A/C unit is 15-20 years. Current unit is 15 years old.

The typical life expectancy is an estimate and only means that the unit will have a high probability of failure and worse efficiency. It should be noted the A/C was working during inspection and providing proper temperature air.

Implication(s): Equipment failure | Reduced comfort

Location: Left side (facing home)

Task: Replace

Time: Unpredictable

AIR CONDITIONING \ Refrigerant lines

37. Condition: • [Insulation - missing](#)

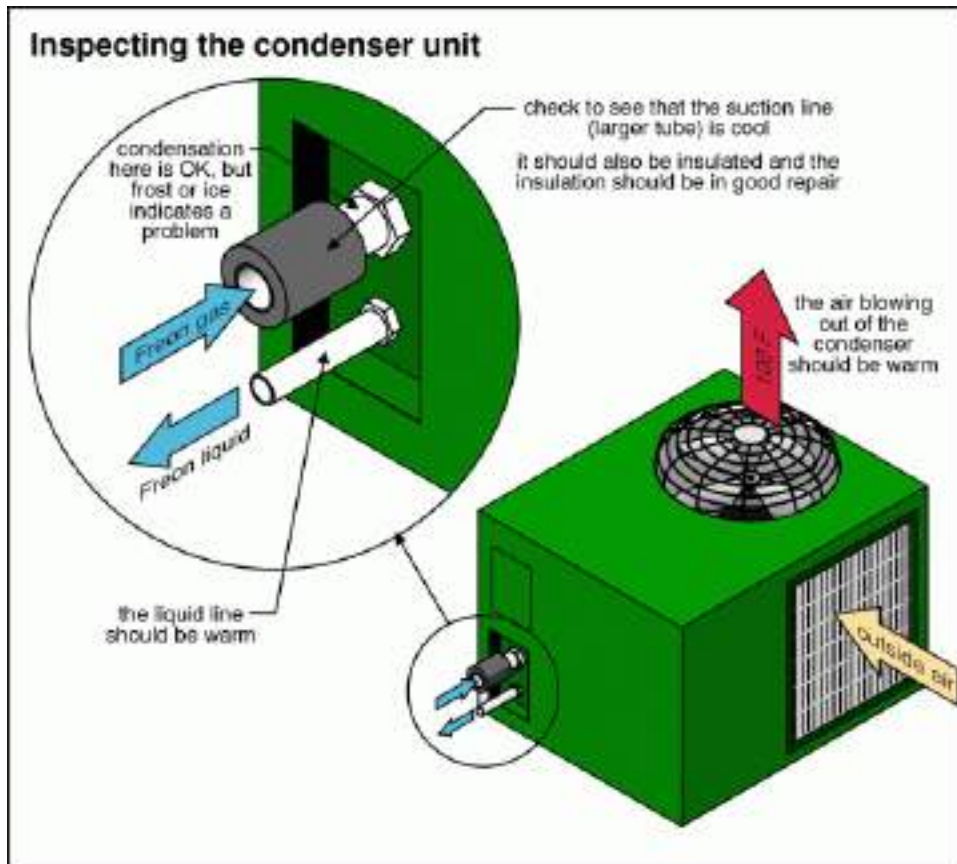
Insulation around freon line wears away. This can be easily changed by homeowner.

Implication(s): Reduced system life expectancy | Increased cooling costs | Reduced comfort

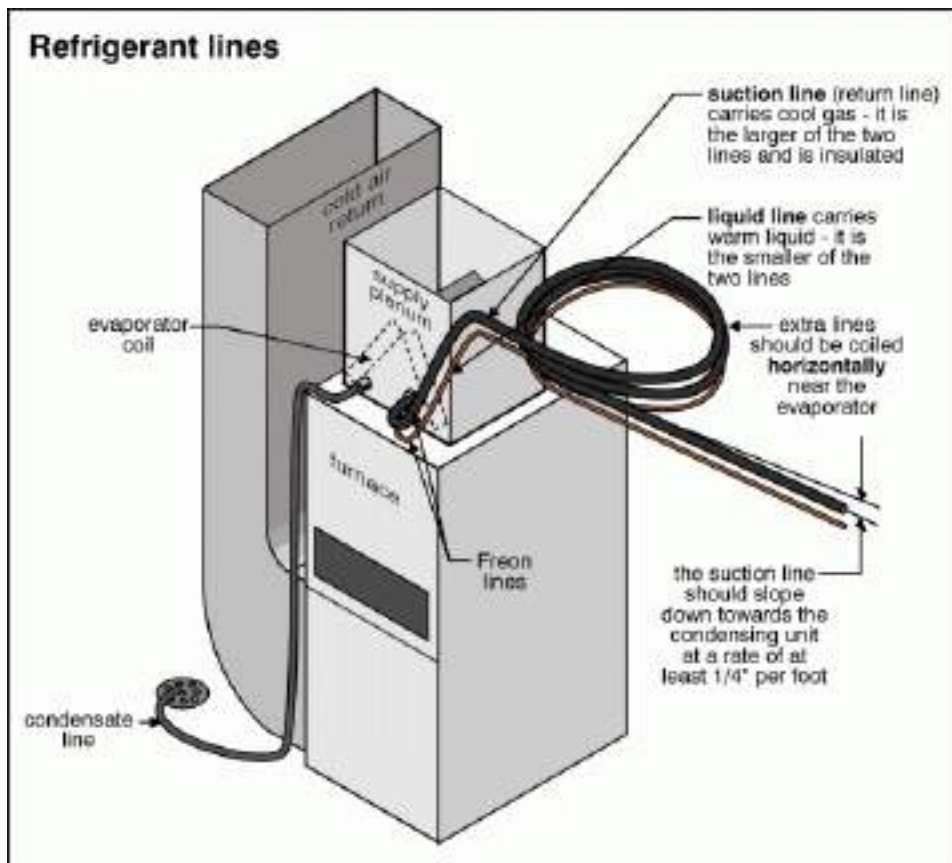
Location: Left side (facing home)

Task: Replace

Time: Immediate



ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Insulation - missing

38. Condition: • [Poor seal at building](#)

Implication(s): Chance of water entering building | Chance of pests entering building

Location: Left side (facing home)

Task: Improve

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ROOFING

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Time: Immediate



Poor seal at building



Poor seal at building

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

Description

Attic/roof insulation material: • [Glass fiber](#)
 Attic/roof insulation amount/value: • [R-32](#)
 Attic/roof air/vapor barrier: • Not determined
 Attic/roof ventilation: • [Roof and soffit vents](#)

Limitations/Method of Reporting

Inspection prevented by no access to: • Wall space • Floor space
 Attic inspection performed: • By entering attic, but access was limited
 Roof ventilation system performance: • Not evaluated
 Air/vapor barrier system: • Continuity not verified

Recommendations/Observations

ATTIC/ROOF \ Insulation

39. Condition: • [Gaps or voids](#)

There was evidence of mice tunnels and gaps throughout insulation in attic. Further evaluation by exterminator recommended if necessary.

Implication(s): Increased heating and cooling costs | Reduced comfort

Location: Attic

Task: Further evaluation

Time: Discretionary



Gaps or voids



Gaps or voids

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Gaps or voids

ATTIC/ROOF \ Hatch/Door

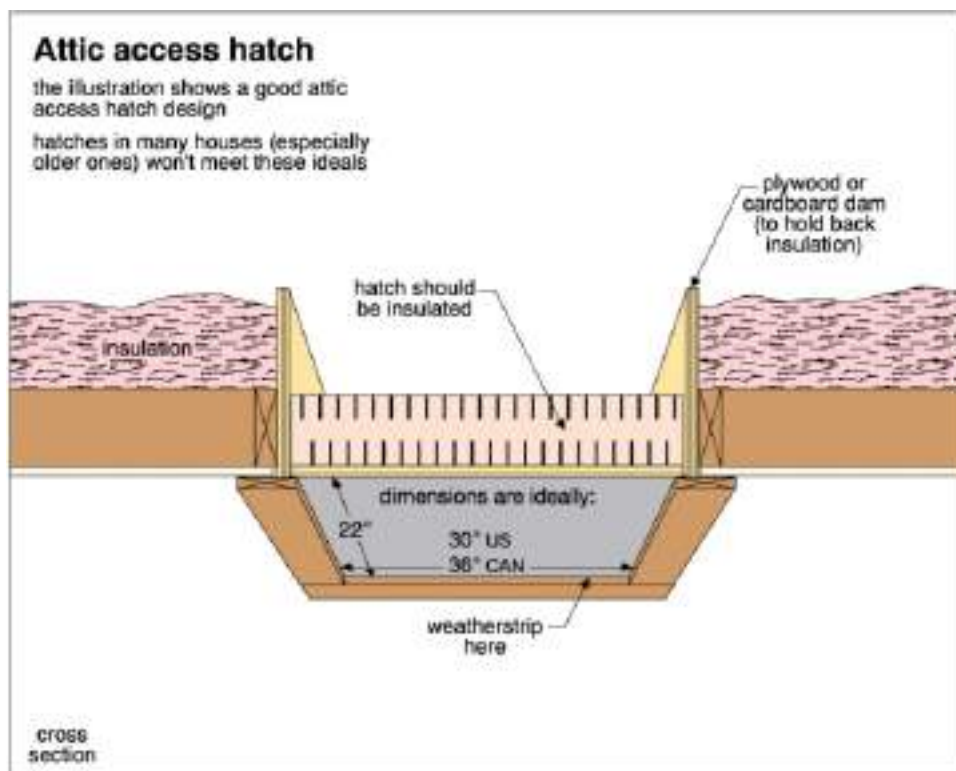
40. Condition: • [Not weatherstripped](#)

Implication(s): Chance of condensation damage to finishes and/or structure | Increased heating and cooling costs

Location: Attic

Task: Improve

Time: Less than 1 year



ROOFING

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Not weatherstripped

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APPLIANCES

REFERENCE

Description

Water supply source: • Public

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#) • [Plastic](#)

Main water shut off valve at the:

- Basement



Basement

Water flow and pressure: • [Typical for neighborhood](#)

Water heater type:

- Tank

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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Tank



Tank

Water heater fuel/energy source: • [Gas](#)

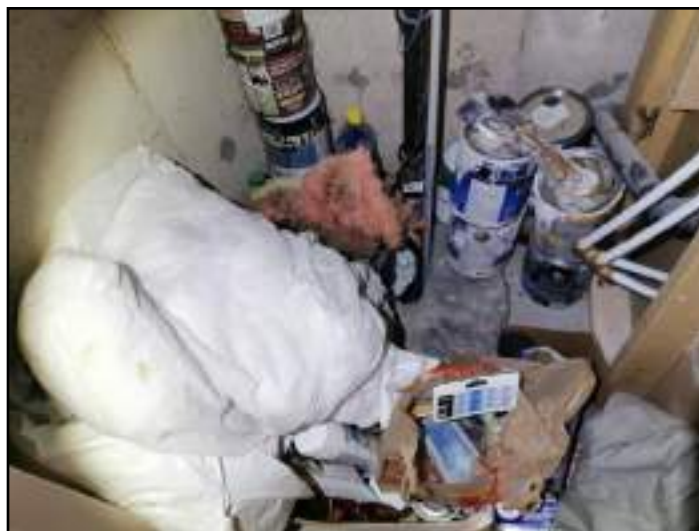
Waste disposal system: • [Public](#)

Waste and vent piping in building: • [ABS plastic](#)

Pumps:

• [Sump pump](#)

Sump pump was operational at time of inspection.



Sump pump

Floor drain location: • Not visible

Limitations/Method of Reporting

Items excluded from a building inspection:

- Water quality
- Isolating/relief valves & main shut-off valve
- Concealed plumbing
- Tub/sink overflows
- Water treatment equipment



Water treatment equipment



Water treatment equipment

- Water heater relief valves are not tested
- The performance of floor drains or clothes washing machine drains
- Pool

As a courtesy and at the request for buyer the pump and heater were turned on and appeared to be working. Inspection by pool company is still highly recommended.



Pool



Pool

Recommendations/Observations

General

41. • Recommended to have sewer line(drain) to be scoped to ensure there is no damage to it. This is a recommendation for every home as there is no access to drain. This scoping is especially important for older homes (old clay pipes) and one with large trees present (root damage).

Task: Further evaluation

Time: If necessary

42. • Request homeowners to show where seasonal shut offs are for exterior hose bibbs.

Location: Basement

Task: Request disclosure

SUPPLY PLUMBING \ Supply piping in building

43. **Condition:** • [Poor support](#)

Especially for copper it is imperative supply lines are secured.

Implication(s): Chance of water damage to contents, finishes and/or structure | Leakage

Location: First Floor Laundry Area

Task: Improve

Time: Immediate

August 7, 2019

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Poor support

WASTE PLUMBING \ Drain piping - installation

44. Condition: • [Poor manifolding of drain pipe](#)

Implication(s): Sewage entering the building

Location: First Floor Kitchen

Task: Repair

Time: Less than 1 year



Poor manifolding of drain pipe

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ROOFING

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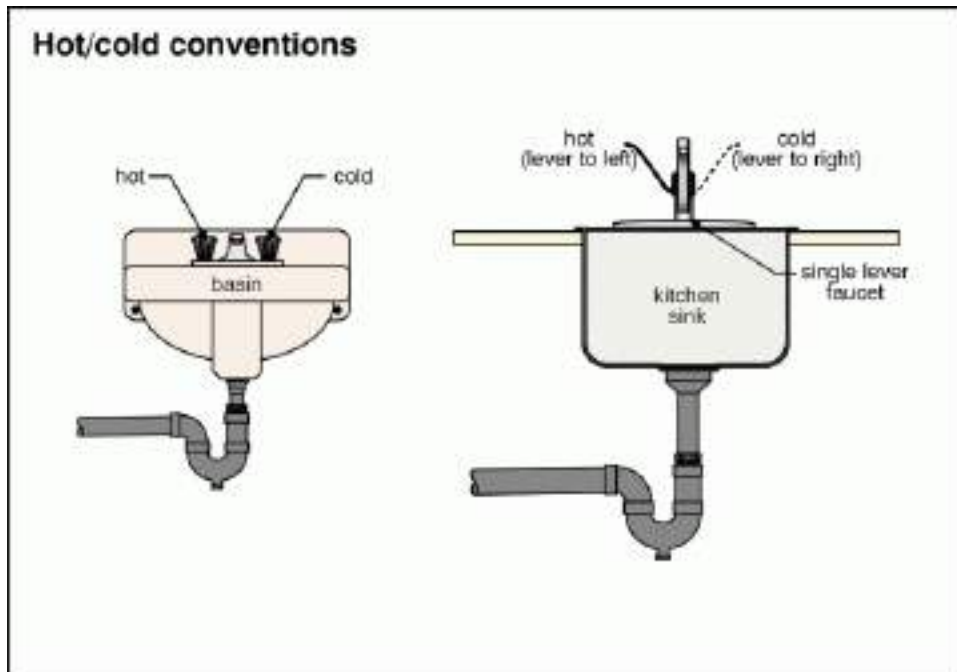
45. Condition: • [Poor manifolding of drain pipe](#)**Implication(s):** Sewage entering the building**Location:** Basement**Task:** Repair**Time:** Less than 1 year

Poor manifolding of drain pipe

FIXTURES AND FAUCETS \ Faucet**46. Condition:** • [Hot and cold reversed](#)**Implication(s):** Scalding**Location:** Basement Powder Room**Task:** Repair**Time:** Immediate

August 7, 2019

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Hot and cold reversed

FIXTURES AND FAUCETS \ Basin, sink and laundry tub

47. Condition: • [Loose](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Damage or physical injury due to falling materials | Sewage entering the building

Location: Basement Powder Room

Task: Repair

Time: Immediate

August 7, 2019

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Loose

48. Condition: • [Surface defects](#)

Implication(s): Hygiene issue

Location: First Floor Powder Room

Task: Replace

Time: When necessary



Surface defects



Surface defects

49. Condition: • [Slow drains](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: First Floor Powder Room

Task: Clean

Time: When necessary

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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Slow drains

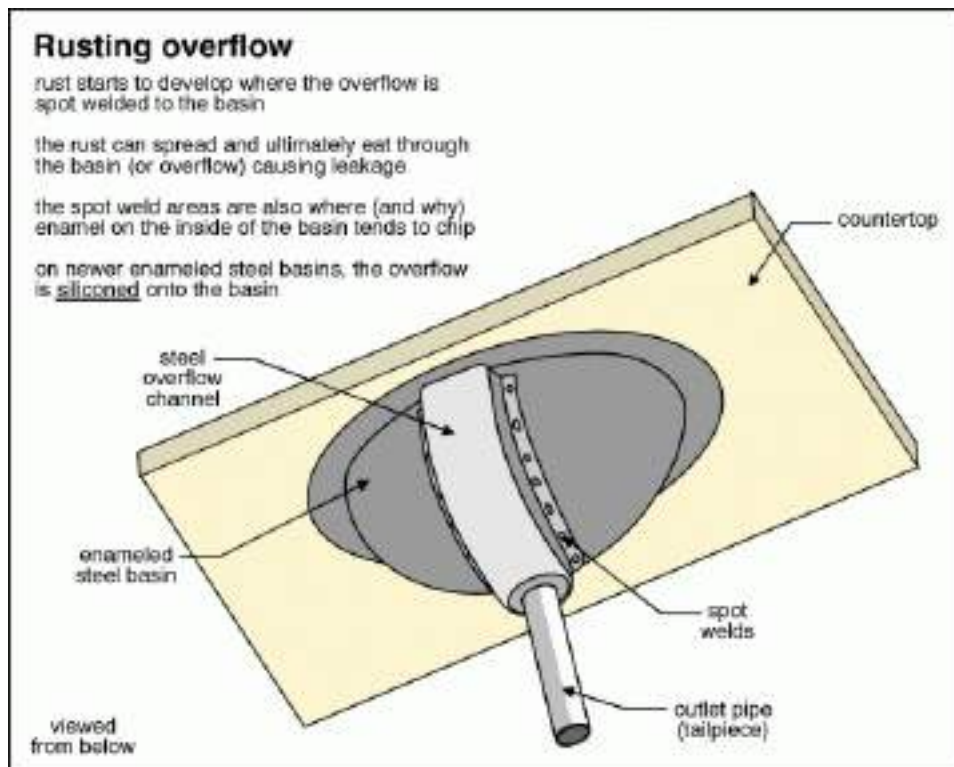
50. Condition: • [Overflows missing, leak, rust or inappropriate](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Basement Powder Room

Task: Repair

Time: Immediate



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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Overflows missing, leak, rust or...



Overflows missing, leak, rust or...

FIXTURES AND FAUCETS \ Bathtub

51. Condition: • [Caulking loose, missing or deteriorated](#)

Provide caulking where it was missed i.e. any corner and tub/floor connection.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Second Floor Hallway Bathroom

Task: Provide

Time: Immediate



Caulking loose, missing or deteriorated



Caulking loose, missing or deteriorated

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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

FIXTURES AND FAUCETS \ Shower stall

52. Condition: • [Leak](#)

Water leaked out where arrow was pointed in photo. Likely there is leakage because connection is poorly sealed with silicone and needs to be sealed better to achieve waterproofing.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Basement Bathroom

Task: Repair

Time: Immediate



Leak



Leak

53. Condition: • [Caulking loose, missing or deteriorated](#)

Every perpendicular joint needs to be covered with silicone. + Tile threshold joint and around faucets

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Second Floor Master Bathroom

Task: Provide

Time: Immediate

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Caulking loose, missing or deteriorated

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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

Description

Major floor finishes: • [Hardwood](#) • Vinyl • Tile

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows: • [Fixed](#) • [Single/double hung](#) • [Sliders](#) • [Casement](#) • [Awning](#)

Glazing: • [Single](#) • [Double](#)

Evidence of basement leakage: • Efflorescence • Stains • Mold • Musty or damp odor

Oven fuel: • Gas

Kitchen ventilation: • Range hood - recirculating type

Bathroom ventilation: • Exhaust fan

Laundry room ventilation: • Clothes dryer vented to exterior

Limitations/Method of Reporting

Inspection limited/prevented by: • Carpet • Storage/furnishings • New finishes/paint • Storage in closets and cabinets / cupboards

Not included as part of a building inspection: • This inspection does not cover legal use as multiple unit home or fire code compliance.

Not included as part of a building inspection: • Perimeter drainage tile around foundation, if any • Decorative items • Aesthetics or quality of finishes • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Floor coverings

Cosmetics: • No comment offered on cosmetic finishes

Percent of foundation not visible: • 98%

Basement leakage: • Cannot predict how often or how badly basement will leak • Storage in basement limited inspection

Recommendations/Observations

General

54. • Noted presence of mice due to droppings around the home. Further evaluation and inspection by rodent inspector recommended.

Location: Basement

Task: Further evaluation

Time: Immediate

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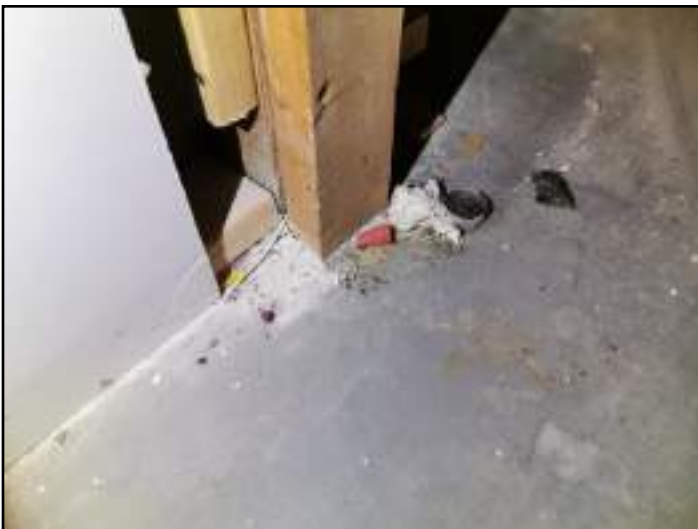
ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Noted presence of mice due to droppings...



Noted presence of mice due to droppings...



Noted presence of mice due to droppings...



Noted presence of mice due to droppings...

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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Noted presence of mice due to droppings...



Noted presence of mice due to droppings...

DOORS \ Doors and frames

55. Condition: • [Weatherstripping missing or ineffective](#)

Implication(s): Chance of water entering building | Increased heating and cooling costs | Reduced comfort

Location: Front

Task: Replace

Time: Less than 1 year

August 7, 2019

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Weatherstripping missing or ineffective

DOORS \ Hardware

56. Condition: • [Broken](#)

Door locks did not work. Homeowners were using piece of metal to jam door closed.

Implication(s): System inoperative or difficult to operate

Location: First Floor Kitchen

Task: Repair

Time: Discretionary



Broken

August 7, 2019

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

CARPENTRY \ Cabinets

57. Condition: • [Water damage](#)

Water was leaking from faucet onto cabinet and causing damage to cabinet and wall behind it. Fungal growth noted.

Implication(s): Material deterioration

Location: First Floor Kitchen

Task: Repair or replace

Time: Immediate



Water damage



Water damage

STAIRS \ Handrails and guards

58. Condition: • [Missing](#)

Implication(s): Fall hazard

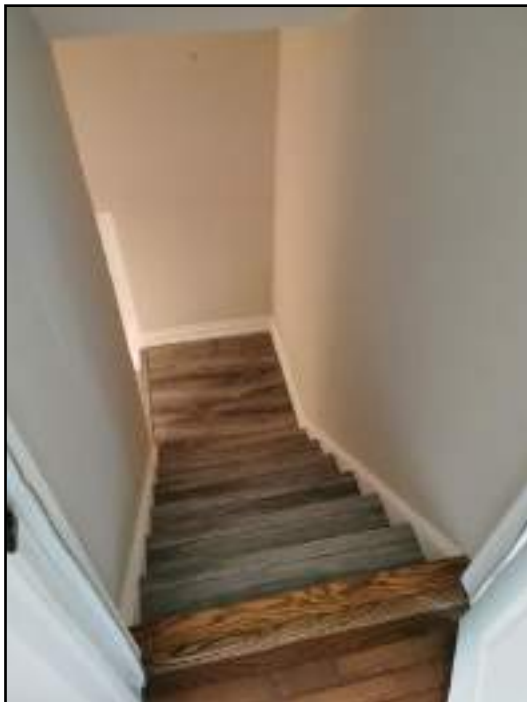
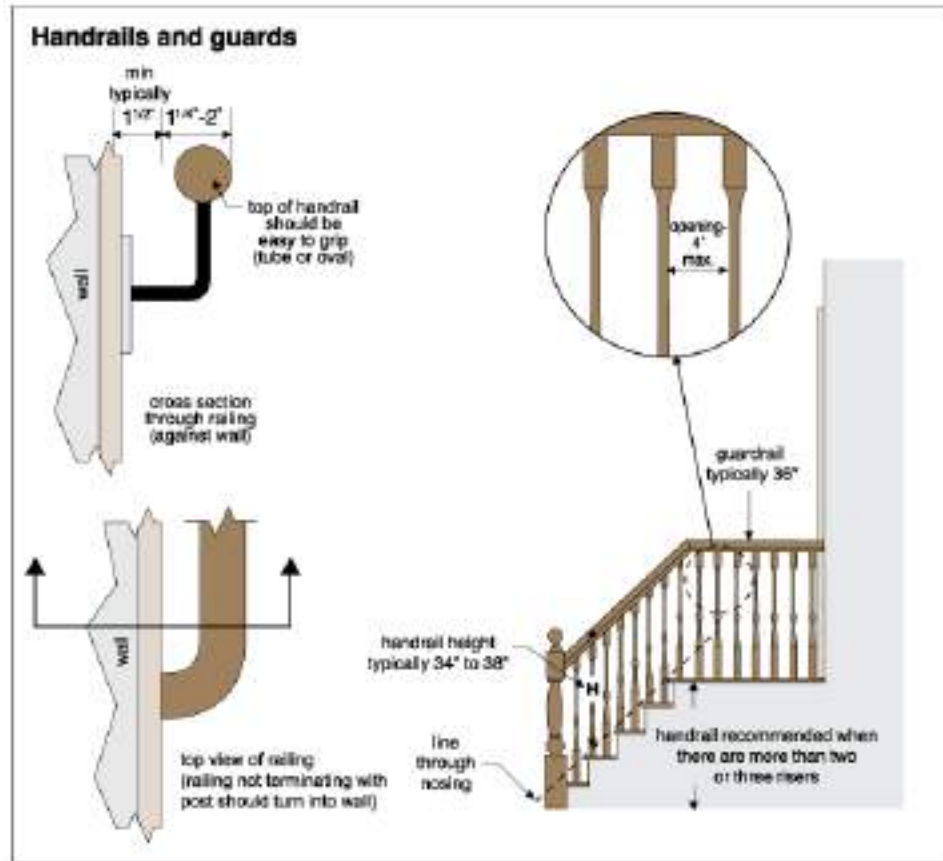
Location: Basement

Task: Provide

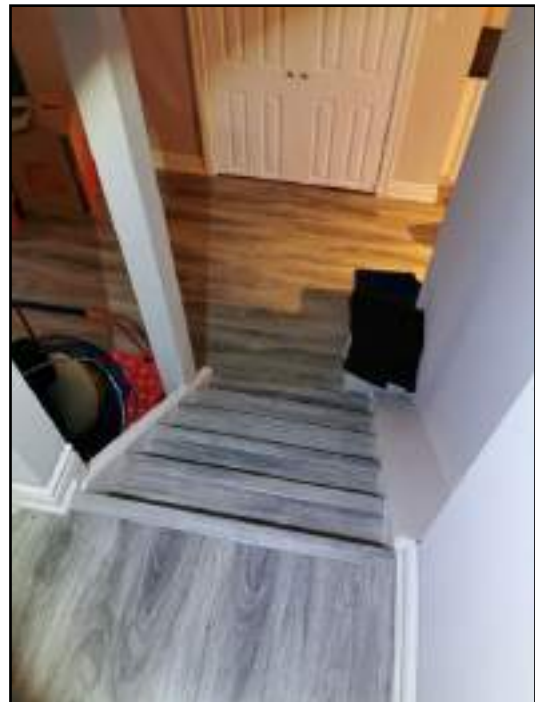
Time: Immediate

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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Missing



Missing

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ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

EXHAUST FANS \ General

59. Condition: • [Missing](#)

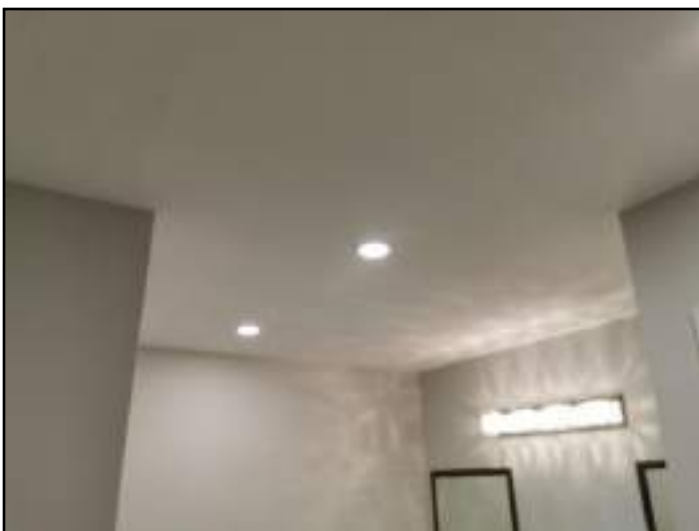
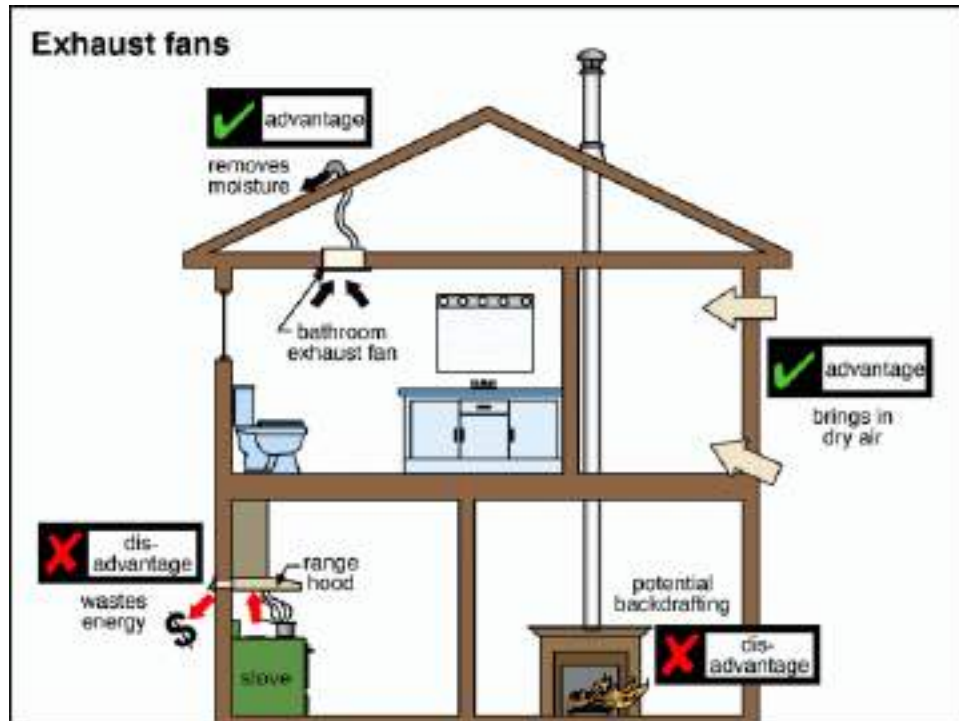
Exhaust fans were supposed to be installed during renovations to meet with current code.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Second floor Master Bathroom, Hallway Bathroom, Basement Powder Room

Task: Provide

Time: Immediate



Missing



Missing

August 7, 2019

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Missing

EXHAUST FANS \ Duct

60. Condition: • [Not insulated in unconditioned space](#)

Dryer vent routed through garage but is un-insulated.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Garage

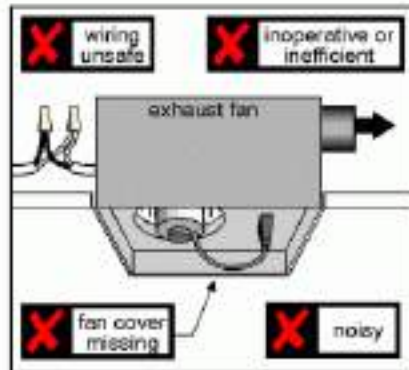
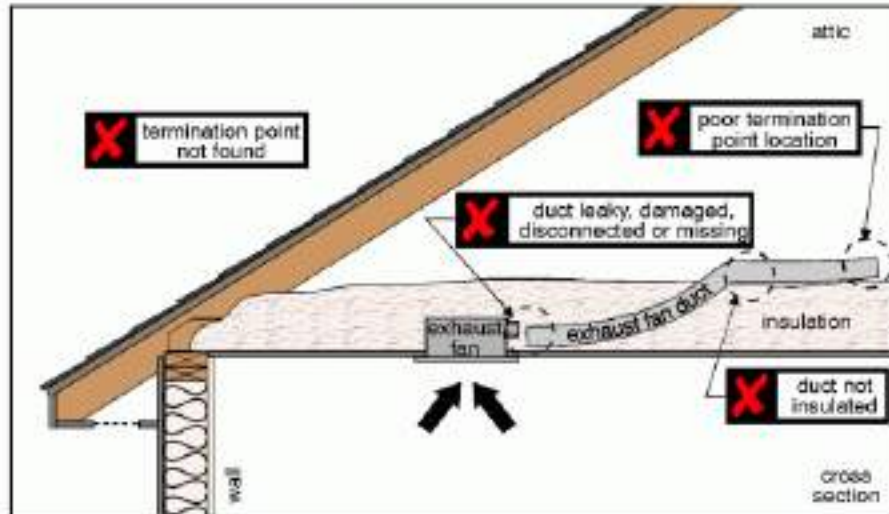
Task: Improve

Time: Less than 1 year

August 7, 2019

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

Exhaust fan conditions



Not insulated in unconditioned space

August 7, 2019

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

BASEMENT \ Leakage

61. Condition: • [Leakage - See EXTERIOR section for relevant recommendations](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

BASEMENT \ Wet basement - evidence

62. Condition: • [Mold](#)

Water present behind vapour barrier along with wet insulation and fungal growth(likely mold).

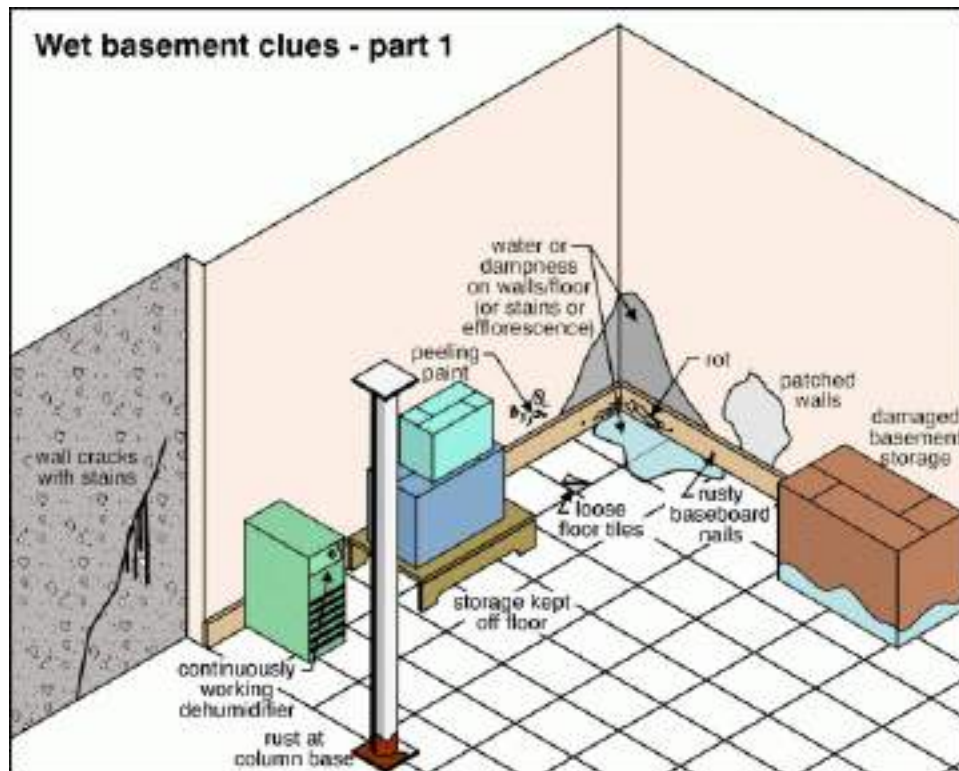
There was also heavy efflorescence present on wall next to insulation. Areas showed that they were wet a time of inspection.

Implication(s): Chance of water damage to contents, finishes and/or structure | Contaminants may enter building air

Location: Basement Utility Room

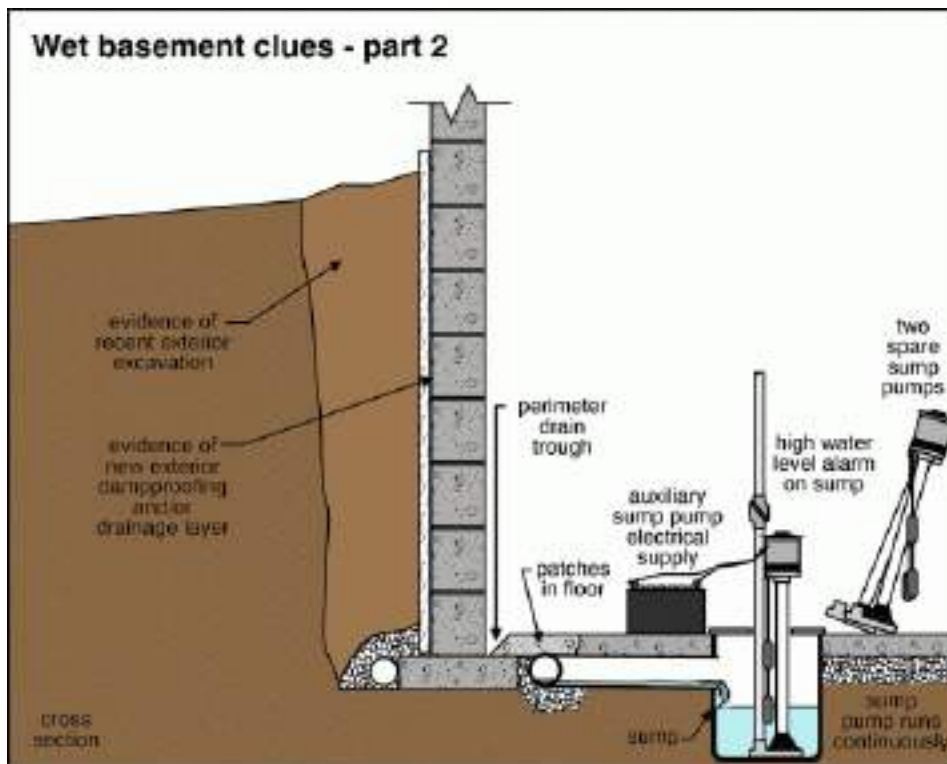
Task: Improve

Time: Immediate



August 7, 2019

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Mold



Mold

August 7, 2019

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Mold



Mold

63. Condition: • [Stains](#)

Stains on baseboards. Note that this is very close to crack that was noted in Structural section.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Basement Bathroom

Task: Repair

Time: Less than 1 year



Stains



Stains

August 7, 2019

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								



Stains



Stains

COMMENTS \ Additional

64. Condition: • This inspection does not cover legal use as multiple unit home or fire code compliance.

SITE INFO

Report No. 1457, v.2

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ROOFING

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Description

Weather: • Clear

Approximate temperature: • 28°

Attendees: • Buyer • Buyer's Agent

Utilities: • All utilities were on during the inspection.

Approximate age of home: • 30 to 35 years

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ROOFING

EXTERIOR

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APPLIANCES

REFERENCE

Description

General: • Wine Fridge



Wine Fridge

Exhaust fan/range hood:

• Combination microwave oven & fan



Combination microwave oven & fan

Oven: • Oven

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ROOFING

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Oven

Refrigerator:

- Freezer on bottom



Freezer on bottom

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ROOFING

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REFERENCE

Dishwasher:

- Under-counter



Under-counter

Washer and dryer:

- Front-loading washer



Front-loading washer

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ROOFING

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REFERENCE

- Electric dryer



Electric dryer

Limitations/Method of Reporting

Not Tested/Not In Service: • Microwave • Washing Machine - Needs to be tested for a full cycle. • Dishwasher - Needs to be tested for a full cycle.

Recommendations/Observations

EXHAUST FAN \ General

65. Condition: • Not vented properly
Range hood should be vented to exterior.

Location: First Floor Kitchen

Task: Repair

Time: Immediate

August 7, 2019

ROOFING

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REFERENCE



Not vented properly

DISHWASHER \ General

66. Condition: • Poorly secured

Location: First Floor Kitchen

Task: Improve

Time: Less than 1 year



Poorly secured

LAUNDRY FACILITIES \ Washer supply piping

67. Condition: • Rubber lines recommended to be changed to metal braided.

Location: First Floor Laundry Area

Task: Replace

Time: Immediate

August 7, 2019

ROOFING

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INSULATION

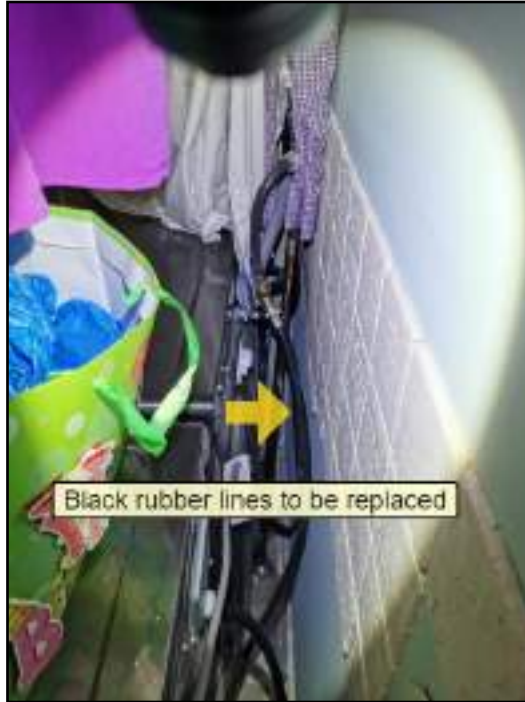
PLUMBING

INTERIOR

SITE INFO

APPLIANCES

REFERENCE



Rubber lines recommended to be changed to...

END OF REPORT

ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR	SITE INFO
APPLIANCES	REFERENCE								

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

01. ROOFING, FLASHINGS AND CHIMNEYS

02. EXTERIOR

03. STRUCTURE

04. ELECTRICAL

05. HEATING

06. COOLING/HEAT PUMPS

07. INSULATION

08. PLUMBING

09. INTERIOR

10. APPLIANCES

11. LIFE CYCLES AND COSTS

12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

13. HOME SET-UP AND MAINTENANCE

14. MORE ABOUT HOME INSPECTIONS